

Design Guidelines

CBD and CHO Zoning Districts - Deposit, New York



Design Guidelines

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Circulation
Service Areas
Architectural Features
Massing, Scale and Form
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PURPOSE

The commercial and mixed use properties within the Village of Deposit’s CBD-Central Business District and CHO-Commercial Highway Oriented Zoning Districts represent a major economic investment and also provide an opportunity for the rehabilitation of existing structures or the introduction of new buildings on previously developed sites.

These Design Guidelines are intended to provide guidance for creating aesthetically pleasing and functional businesses within the Village of Deposit. It includes both *standards* (requirements) and *guidelines* (suggestions). Standards typically use the word “shall” or a clear directive (“are not permitted” or “are required”). Guidelines typically use the word “should” or “consider.” Projects must comply with standards and are strongly encouraged to comply with guidelines.

These Design Guidelines apply to actions requiring Site Plan Review pursuant to Chapter 140 Zoning of the Village of Deposit within the following zoning districts: CBD-Central Business District and CHO-Commercial Highway Oriented (*along Division Street*). Actions requiring approval of a Special Permit by the Planning Board or that require a building permit and alter the exterior of a building shall also be subject to these Guidelines.

These Guidelines were prepared to provide a basis for property owners, architects, engineers, landscape architects, developers, planning board members, residents and Village officials to address site development issues within these commercial business districts. More specifically, these Guidelines are intended to:

1. Improve the appearance of these business districts to renew interest and viability of these areas as hubs of retail, office and other commercial activity.
2. Inspire creativity and quality in design of all structures and in site development.
3. Provide clarification of the Village’s objectives in concert with existing zoning laws and to add consistency and predictability to the permit review process.
4. Stimulate improvements to existing structures and encourage new development within these business districts.
5. Provide a consistent methodology for review of proposed projects.
6. Foster an exchange of ideas among developers, Village officials and residents in an effort to improve the quality of design in all projects both public and private.

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ORGANIZATION

The standards and guidelines provided are divided into two sections; Site Design and Architectural Features. The Site and Architecture sections are organized into subcategories (i.e. Site > Circulation > Service Areas). Each section has one or more design objective, which states what the community wants to achieve.

Illustrations provide visual examples of projects with desired design elements or in some instances examples of projects with elements that should be avoided. Supporting the design objectives is a series of design standards and design guidelines.

NEED

Design guidelines for any urban core area are created to protect and enhance our business districts. The Village of Deposit's downtown core represents the community's historic past through its architecture, street layout and public spaces. It also represent a major economic investment (both public and private).

Deposit's downtown core presents an opportunity for stability, growth and development because it contains - within a compact area - the services goods, entertainment, employment, education, personal care, safety, information and community services necessary for an enhanced quality of life. The Village of Deposit desires to protect and enhance these aspects of the community.

At a time when many communities have abandoned their downtown's in lieu of strip retail centers, the Village of Deposit continues to support on-going efforts to revitalize its downtown core, which has helped to renew pride in the community by strengthening the community's sense of place.

The downtown core in the Village of Deposit allows us to park our vehicles and walk the streets, to reconnect with our neighbors and our community. These Design Guidelines are intended to ensure that redevelopment and infill development within the downtown core complements and strengthens the unique sense of place of Downtown Deposit.



Above: Illustrative examples of the mixed-use commercial buildings in the downtown core and along Division St.

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BUILDING PLACEMENT AND ORIENTATION

Design Objective: New buildings shall be constructed in manner that reinforces the historic building patterns found in adjacent and nearby buildings with regards to placement, massing, height, scale and form.

The following *standards* shall apply:

- New construction must align the front façade of the building at, or as close as possible to, the front façade of an existing building on an adjacent site. In the case of a discrepancy of setbacks, the new building should align with at least one the neighboring buildings.
- New construction located at corner intersections shall place a majority of the building mass at the corner and/or wrap the corner by continuing façade elements such as the cornice on all street elevations.
- The primary entry for all new construction shall be easily identifiable, scaled appropriately to the size of the building and face the street.

The following *guidelines* are recommended:

- New construction should attempt to work with any pre-existing building patterns (historic) found in adjacent or nearby buildings with respect to massing, height, and scale.
- New construction should place as much of the building width at the front of the lot as possible to maximize front façade exposure and maintain the street wall.
- The use of landscaping methods such as low walls, hedges and tree rows should be used to help maintain and reinforce a consistent street wall in areas where there are no building facades to define it.



Do This: The NBT Bank Building on Front Street reflects the pre-existing building pattern within the downtown core. A hedge is utilized to help maintain a consistent street wall where the off-street parking area and drive-up teller window is situated. The hedge also conceals the drive-up window and queued cars from public view along Front Street. Street trees in front of the building help to define the street edge and soften the downtown core.

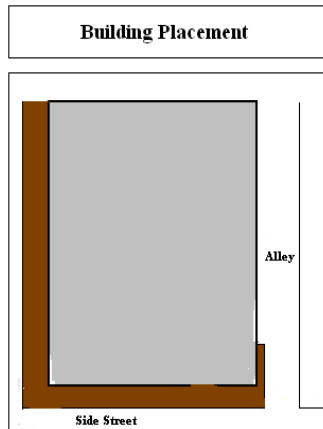


Do This: The TDS Telecom Building on Front Street is an example of an in-fill building, which complements adjacent buildings in terms of building alignment, massing, height, scale and form. This facility consists of two buildings with an alley that provides access to truck bays, while concealing these service area from Front Street. Street trees could have been planted along the front of the building to further tie this site into the downtown core.

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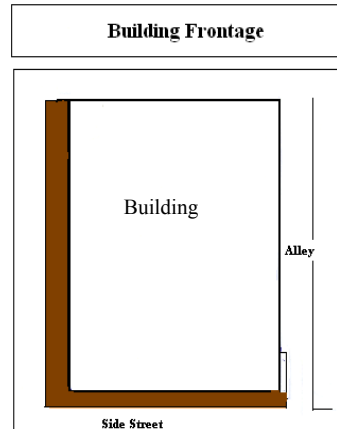
Setbacks:

Buildings should be located within the grey shaded area as shown in the above diagram. Building footprints for mixed-use buildings should be built to the sidewalk or as close as possible to the front façade of an existing building on an adjacent property.

A zero front and side yard setback is allowed; however, a 10-foot rear yard is required.

A setback to provide sufficient sight distance will be required for buildings located on a corner lot.

The setback requirements for the CBD and CHO Zoning Districts are provided in Section 140-Appendix I of the Village Code.



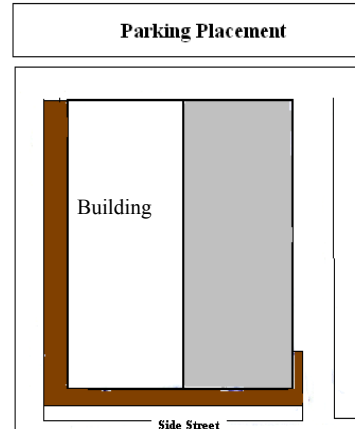
Encroachments Allowed:

Balconies, colonnades, and porches on the second floor may encroach over the sidewalk a maximum of five (5) feet.

Outdoor cafes may be permitted as an accessory use on Front Street provided sufficient aisle width is maintained for ADA compliance.

Section 140-53 of the Village Code provides design standards for the placement of signs.

The Planning Board may allow projecting signs, which encroach over the sidewalk provided an eight (8) foot high clear walkway is maintained in all instances and public access is unobstructed.



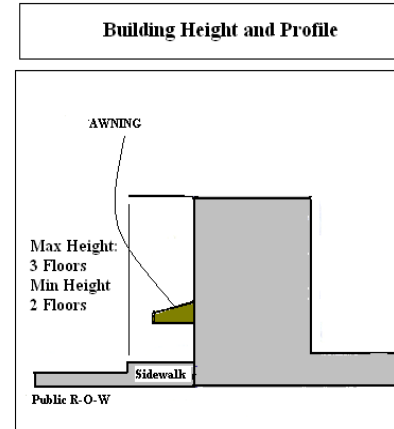
Parking Requirements:

On-site parking spaces shall not be required for existing buildings in the downtown business district.

Within the downtown core, when on-site parking is provided it shall be placed in the side or rear yard of the building. On-site parking shall not be placed in front of buildings.

All on-site parking, vehicle loading and service areas located within sight of the street must be screened from view using architectural or landscaping methods.

On-site parking areas should connect to any existing service alleys or adjacent parking areas, if available, to allow alternative means of ingress and egress.



Maximum Height & Profile:

Within the Central Business District the maximum building height shall be forty-five (45) feet. When an infill building is situated adjacent to an existing multi-story building the following shall apply:

Minimum: 2 stories
Maximum: 3 stories

Rooflines: Shed roofs with parapets and gable roofs are historically the most common roof types found downtown and are recommended for new buildings.

Faux Roof Projections: Fake front roofs, built out roof frames, which are hung from the façade and similar applied designs in lieu of store awnings are prohibited.

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Design Objective: To develop a downtown core circulation system that promotes efficient movement of vehicles in a clear and well-defined manner and minimizes conflicts with pedestrians and bicycles.

The following *standards* shall apply in order to maintain and enhance alleys in the downtown core:

- No existing alley shall be vacated.
- On-site parking areas shall connect to existing service alleys or adjacent parking areas, if available, to allow alternate means of ingress and egress.
- Proposed on-site parking areas shall be located next to any adjacent parking lots, if possible, to provide shared parking opportunities, to serve neighboring buildings simultaneously.
- Pedestrian connections must be provided from on-site parking areas to the existing sidewalk system along the street, where feasible to do so.

The following *guidelines* are recommended:

- As a general rule, downtown alleys shall not be gated.
- Access to on-site parking should be from an alley where one exists or can be provided.
- On-site parking, vehicle and service areas shall be located at the side or rear of the building where practical to do so.
- *Wayfinding signs* should be provided to direct drivers to on-site parking areas.

Shared access and maintenance agreements are encouraged to facilitate connectivity between adjacent properties and the layout of infill sites should provide opportunities for cross access.



Do This: The primary purpose of most downtown alleys is vehicular access and loading. In the photo above, the driveway leading to the on-site parking area ties into an existing alley system, which allows for alternative means of egress as well as pedestrian access to the business district. A low wall with plantings helps to screen the on-site parking area from public view. Wayfinding signs are placed along the street to alert drivers to the alley entrance.



Do This: Pedestrian alleys and walkways should be provided to link on-site parking areas to the sidewalk system along Front Street and Second Street. The photo above right is a pedestrian connection the Village of Warwick, Orange County, New York and the photo to the left shows a pedestrian alley in the City of Hudson, NY.

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Design Objective: To situate and screen service areas so they are not visually obtrusive and to ensure these facilities do not dominate the public street frontage. Services areas for loading, unloading and for the disposal of refuse should be placed to the rear or side of the building or out of the view from the public right-of-way. Such structures and facilities should be integrated into the overall design of the development.

The following *standards* shall apply:

- Service areas for loading and unloading shall be oriented toward interior service lanes and not toward the public r-o-w.
- Dumpster enclosures shall be placed on a concrete slab and enclosed on three sides with durable materials and have a color scheme, which is comparable to the principal building.
- Dumpster enclosure gates shall be made of durable opaque material, which utilizes commercial hinges poles and hasps.
- Dumpster enclosures shall be screened from adjoining properties and public streets and situated in designated service areas in the side or rear yard.
- Landscaping around the base of the dumpster enclosure shall be required.

The following *guidelines* are recommended:

- Public utility boxes (e.g. cable, telephone, and electric) should be located in side or rear yards or oriented to service lanes.
- HVAC units should be placed or screened in a manner that reduces public view of such units.
- Dumpster enclosures should include adequate, accessible and convenient areas for collecting recyclable materials.



Do This: This dumpster enclosure is set on a concrete pad and enclosed on three sides with a brick wall. The doors for the dumpster enclosure utilize an opaque mesh to effectively screen the trash container, which is housed inside. This dumpster is also placed behind the commercial establishment where it is not visible from the public right-of-way.



Don't Do This: In the example illustrated above, the dumpster enclosure is not screened and the containers are visible to the public. Chain link fence shall not be utilized for dumpster enclosures since such fences do not effectively screen trash containers and are themselves unappealing. Well-designed enclosures can enhance the aesthetics of a development site.

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Design Objective: Architectural style is not restricted, but evaluation of the appearance of the building shall be based upon the quality of design and relationship to surrounding buildings. Commercial facades should appear open, pleasing and appealing to the public. The Planning Board may require modifications to franchise or chain store design while providing for corporate identity to be apparent, yet reserved in its display. Well-designed commercial facades engage pedestrians and encourage them to enter a business establishment. When a series of well-defined facades are incorporated into business districts, they help to create interest and activity in front of shops, which enhances the overall shopping experience in the downtown.

The following *standards* shall apply:

- Main building entrances shall be accented to differentiate them from the overall building façade.
- Large windows shall be provided to allow view into and out of buildings (i.e. avoid tinted or reflective glass).
- Metal or steel external siding shall not be permitted as a construction material for building facades.
- Split face block shall not be utilized for the facade of new infill buildings.

The following *guidelines* are recommended:

- Building facades should be articulated by using color, arrangement, or materials to emphasize façade elements.
- The planes of the exterior walls should be varied in height, depth and direction to create visual interest.
- Height and scale of new development should generally be compatible with surrounding development.
- Brick, architectural panels, pre-cast concrete, decorative masonry block, or natural materials (i.e. cedar siding, stone) are preferred material for exterior treatment of structures.



Do This: This mixed use infill building is situated within downtown Rhinebeck, New York. Entrances to each of the first floor business establishments are well-defined and recessed entries help to differentiate them from the rest of the building facade. Large windows allow views into and out the building and variations in materials and colors create visual interest and appeal.



Don't Do This: This Family Dollar is situated in the downtown core of Liberty, NY. The entrance is poorly articulated and small windows restrict views into and out of the store. The service door on the facade should have been placed along the alley. Brick should have been utilized for the facade in place of split face block. The plastic interior lit sign does not fit into the downtown.

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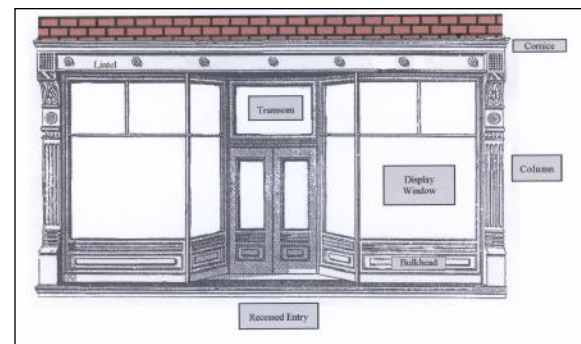
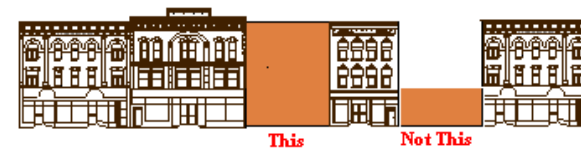
Design Objective: New infill buildings should respect the mass & scale of the traditional building stock within the Central Business District. The vertical and horizontal delineation of new structures should match that of traditional structures so they fit within the context of the existing building stock. In this respect, the mass & scale of new buildings is as important to fitting in as is the placement of new buildings on a site.

The following *standards* shall apply:

- **Building height:** The height of new buildings should not appear excessively higher or lower than surrounding properties.
- **Building height:** Two-story minimum building height is required on front facades facing Front Street, Division Street and Second Street.
- **Floor-to-floor heights:** Floor heights of new infill buildings must be in keeping with the floor heights of adjacent structures.
- **Upper floor windows:** Must be divided into individual window units that are similar in scale to adjacent structures.
- **Building mass:** For large infill buildings, the façade shall be divided into modules to give the appearance of several buildings. This is needed to maintain the traditional building pattern of the downtown core. This can be achieved through the use of colors and change in materials to provide a clear distinction between the modules. Recesses may also be used.
- **Building form:** Front facades should provide a clear distinction between the first floor and the upper floors through the use of awnings, a lower cornice and change in materials.
- **Building placement:** New mixed-use buildings shall align to the edge of the sidewalk to maintain a building line along the street.



Do This: This new infill building is home to a CVS Pharmacy. The height of this infill building is similar in scale to adjacent structures; the floor heights are in keeping with adjacent structures and the upper floors are divided into modules, which helps to break up the mass of the building. The upper and lower cornice and awnings help to provide a clear distinction between the upper and lower floors, which adds visual interest.



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Design Objective: The facade facing the street is normally the most architecturally detailed side of the buildings and contains a pattern of windows, bays, columns, cornices and architectural details that should be preserved in historic buildings and replicated in new infill buildings.

The following *standards* shall apply:

- Facade elements shall be preserved to create patterns along the business blocks, which help to retain design integrity.
- Upper story windows of existing buildings should be uncovered and reopened where possible to maintain historic character.
- Do not block down the original window openings to accommodate a stock window that does not fit the building.
- Retain original window style when replacement is necessary.
- The primary entry doorway to the street must be recessed a minimum of 12 to 48 inches back from the plane of the facade.
- Window frames must be recessed. Flush or curtain wall window designs are not permitted.

The following *guidelines* are recommended:

- Original building materials should be preserved and not be covered with synthetic materials (i.e. vinyl siding).
- The front facades of new construction should be organized in a general “*Base - Middle - Top*” configuration. The amount of door and window openings should be greatest at the “*Base*” level - typically between 75 to 90 percent of the facade. The “*Middle*” consists of the upper floors with typically 25-50 percent consisting of facade articulation and openings. The “*Top*” level consists of an articulated cornice of design and materials that complement other elements of the facade.



Do This: Village Hall circa 1899 has retained many of its original architectural elements. Although windows were replaced, the style and openings were maintained. The Base-Middle-Top of the Village Hall facade is distinguished by the door and window openings at the base and facade articulation and openings along the second floor.



Do This: The Handcrafters. The recessed entrance to the storefront is well defined and the owners have used awnings to help accent the entrance. The entrance to second floor is located in front right side of building façade, but is separate and distinct from the commercial business entrance. A lower cornice helps to distinguish the first floor from the upper floors. There is also a high percentage of door and window openings on the first floor.

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Design Objective: New infill buildings should respect the mass & scale of the traditional building stock within the downtown business district. The vertical and horizontal delineation of new structures should match that of traditional structures so they fit within the context of the existing building stock.

The following *standards* shall apply:

- The majority of the building mass should be placed at the front of the site to maximize front facade exposure and maintain the street wall, however, the building height may step down to lower levels in the rear.
- No portion of the roofline facing the street may extend more than 50 feet in length horizontally without a roofline transition, which shall be defined as a change in the roofline that steps (up or down) at least 24 inches (see example on page 19).
- Areas of blank wall larger than 8 foot diameter circle are not permitted on the front facade of new or renovated construction.

The following *guidelines* are recommended:

- The height of new building should attempt to coordinate common heights and facade lines with adjacent buildings.
- Structures with sloping roof designs should align the gable end of the facade to face the street to maximize facade exposure.
- Parapet height should not exceed four feet unless otherwise required by State or Federal codes.
- Facade and roofline transitions should be used to highlight important areas of the facade such as building entry, the center of the facade or symmetrical ends.
- New facade designs should be in keeping with the scale of adjacent buildings.



Do This: Above (Left to Right): Infill building in Rhinebeck, New York and Saratoga, New York. These infill buildings respect the mass and scale of the traditional building stock and also the traditional siting patterns of buildings in the downtown core (i.e. buildings are situated up to sidewalk with building entrances facing the main street). These buildings are oriented parallel to their lot lines and oriented toward the sidewalk.



Do This: Market Street – Corning, New York and Saratoga, New York. The buildings shown above represent the proper placement of buildings in the downtown core along Front Street. The building in the photo above right is a new infill building. Notice how the mass, scale and placement complement adjacent buildings. New infill buildings in the downtown core of Deposit should be situated and designed in a like manner.

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Design Objective: Building materials and detailing should be based on long-term durability, appearance, ease of maintenance, and proven performance in the Deposit climate. The use of materials based on sustainable and renewable resources is encouraged. The use of authentic “real” materials is favored over the use of materials that are artificial or that mimic the qualities of other materials. Exterior colors should be compatible with those of existing buildings and avoid garish colors or highly reflective materials.

The following *standards* shall apply:

- Work on existing structures must preserve, protect and maintain the use of original exterior materials of historic structures, whenever possible.
- Any renovations or alterations to an existing facade should include reasonable attempts to remove any modern day cladding, panels, sign boards or similar additions, which are concealing the original building design underneath.
- Original facade materials and designs should be repaired and preserved whenever possible in lieu of replacement or covering with new materials.
- All exterior colors must be natural, earth tone or muted shades. Brighter, more vibrant colors, if used, must be reserved for minor accents and highlights only.
- When using more than one material on the exterior facade, one material must be used as the primary theme with others used sparingly to complement or accent the design.
- When making a transition from one material to the next, the change must occur at hard-edge or depth transition in the facade, which creates a surface from one material to terminate into before the next one begins.



Don't Do This: While the renovation of the “Base” floor of these buildings on Main Street in Camden, New York uses appropriate materials and colors; the original door and window openings were dramatically altered. These renovations have diminished the integrity of these historic structures and have resulted in a less appealing environment to shop with the downtown business district. Renovations must maintain original openings.



Do This: The renovations to the Northern Dutchess Pharmacy in Rhinebeck, New York preserved, protected and maintained the use of original exterior materials. While more than one material is used on the exterior facade, the transition from one material to the next occurs at a hard-edge and depth transition, which creates a surface from one material to end before the next begins. These transitions are further accented with changes in colors.

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TABLE 1 - MATERIALS LIST		
Building Element	RECOMMENDED MATERIALS	PROHIBITED MATERIALS
FACADE	<p>Common Red Brick: Bare, multi-colored/multi-tone subject to color approval</p> <p>Wood Clapboard or Shingle: Finished grade (painted or stained approved color) with only the horizontal application thereof permitted</p> <p>Natural Stone: Must compliment original architecture of the building</p> <p>Fiber reinforced cement siding (e.g. Hardi-Plank)</p>	<p>Imitation brick siding, asphalt siding or faux brick panels</p> <p>Wood paneling, plywood T-111, composite MDO/MDF Board, standing seam steel or aluminum siding</p> <p>Imitation stone (except approved cultured stone) EIFS/Stucco (except as approved by Planning Board)</p> <p>Vertical application of all siding shall be prohibited</p>
WINDOWS	<p>Wood, Vinyl Clad, PVC Frame: Approved color</p> <p>Anodized Aluminum Frame/Storefront: Must compliment original architecture of the building</p> <p>Expressed Lintels Over Openings: Brick, Limestone, Colored or Bare Concrete</p> <p>Clear, Etched, Frosted or Stained Glass</p>	<p>Bare aluminum</p> <p>Reflective flashing</p> <p>Mirrored, colored or dark tinted windows below 70% VLT</p>
ROOF	<p>Asphalt shingle, natural or imitation slate: Approved color</p> <p>Parapet and Chimney Caps: Stone, Limestone and Precast Concrete Metal Flashing (approved color)</p> <p>Aluminum Eave Guard</p>	<p>Light or reflective materials</p> <p>Metal roofing for commercial applications</p>
OTHER/MISC.	<p>Canvas Awning: 3 Color Max, approved colors</p> <p>Concrete, Brick Paver or Stone Sidewalks</p> <p>Stamped Concrete</p> <p>Wood/Synthetic Wood Porches, Boardwalks & Ramps</p>	<p>Plastic, Vinyl or Other Synthetic Awnings</p> <p>Reflective flashing</p> <p>Asphalt sidewalks or walkways</p>
CONSTRUCTION	Stick-built, modular, or brick with steel frame buildings	Pre-fabricated steel buildings or pole barns

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Design Objective: The regulation of signs is intended to promote a positive visual environment and add visual interest to buildings while letting customers know the nature and location of each business. All proposed signs shall comply with the requirements of the Village of Deposit's sign regulations as provided in Chapter 140, Article VIII of the Village Code and, where applicable, the more restrictive provisions contained within these Design Guidelines.

The following *standards* shall apply:

- Signs should have good proportions appropriate for the subject building and its surroundings. Where possible, business signs should be placed within the traditional sign band area just above the storefront windows.
- The size, color, lettering, location and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjacent buildings.
- Sign mounting and orientation should be appropriate for the particular building for which it is intended and for the setting in the business district. The color and type (font) of lettering are more important to comprehension than size of the sign. Shingle signs or those that use familiar icons like a barber pole or pair of glasses can be effective without being large.
- The use of color for signs should be in keeping with the natural tones of brick, tile, stone and stained or painted woods within the adjacent streetscape. Bright, bold, primary or metallic reflective colors may be used sparingly as trim or accents to the main body of the sign.
- Most signs are very effective with a three color format. One dark color should be used for a background color, a contrasting color for lettering, and a third color for borders, shading or trim.
- Lighting for signs should be from above or from both sides, but not from within.



Don't Do and Do This: In the upper illustration, the large bulky sign above the lower cornice conceals part of the second floor window and masks part of the cornice. Such signage shall not be permitted in the CBD and CHO Zoning Districts. The lower illustrations shows the proper placement of the wall sign within the sign panel above the display window. Proper placement, size and color of signs will enhance the visual environment in the business districts.

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Design Objective: The regulation of signs is intended to promote a positive visual environment and add visual interest to buildings while letting customers know the nature and location of each business. All proposed signs shall comply with the Village of Deposit's existing sign regulations as provided in Chapter 140, Article VIII of the Village Code.

The following *standards* shall apply and are more restrictive than Section 140-53 of the Village Code:

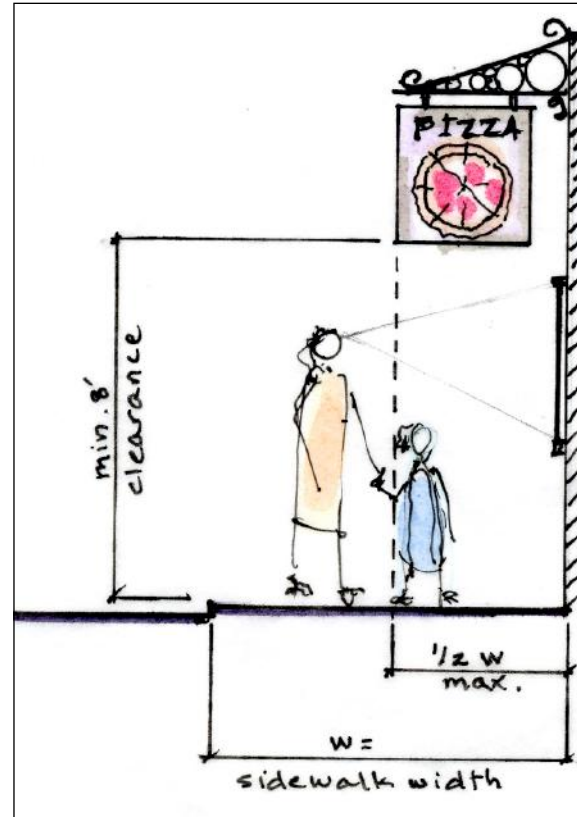
- *Pole Signs:* Shall be prohibited in the CBD Zoning District and CHO Zoning District along Division Street.
- *Roof signs:* Shall be prohibited in the CBD Zoning District and CHO Zoning District along Division Street.
- *Ground signs:* The maximum permitted sign area shall be 24 square feet with a maximum permitted height of six (6) feet.

Do This (illustration upper right): Projecting signs must clear the sidewalk by at least eight (8) feet and may project no more than four (4) feet from the building or one-half the width of the sidewalk, whichever is less. Projecting signs must be pinned away from the wall at least six (6) inches and must project from the wall at an angle of 90 degrees. The use of decorative bracket is encouraged, provided it is constructed of a durable material and securely mounted to the building wall. Projecting signs help pedestrians to navigate their way through the downtown business district as these signs are perpendicular to the line of sight.

Do This (illustration upper right): Section 140-53 of the Village Code allows wall signs on each side of a building, provided the wall signs on each side of the building do not exceed 25% of the respective wall area. For the areas within the Village of Deposit that are subject to these Design Guidelines, the following more restrictive standard shall apply:

- The cumulative sign area permitted for wall signs and projecting signs shall not exceed two (2) square feet for each lineal foot of building frontage.

In the illustration to the right, the cumulative sign area permitted equals two square feet for each lineal foot of building frontage. Thus, a building that is 24' wide would be allowed 48 square feet of sign area. This allotment can be split up among different types of signs. In the example above, the 2' x 12' wall sign, 3' x 3' projecting sign and two 2' x 3.5' window signs total 47 square feet.



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Design Objective: Site lighting should be sufficient to facilitate the safe and convenient circulation of motorists and pedestrians, but not so bright as to produce excessive light and glare.

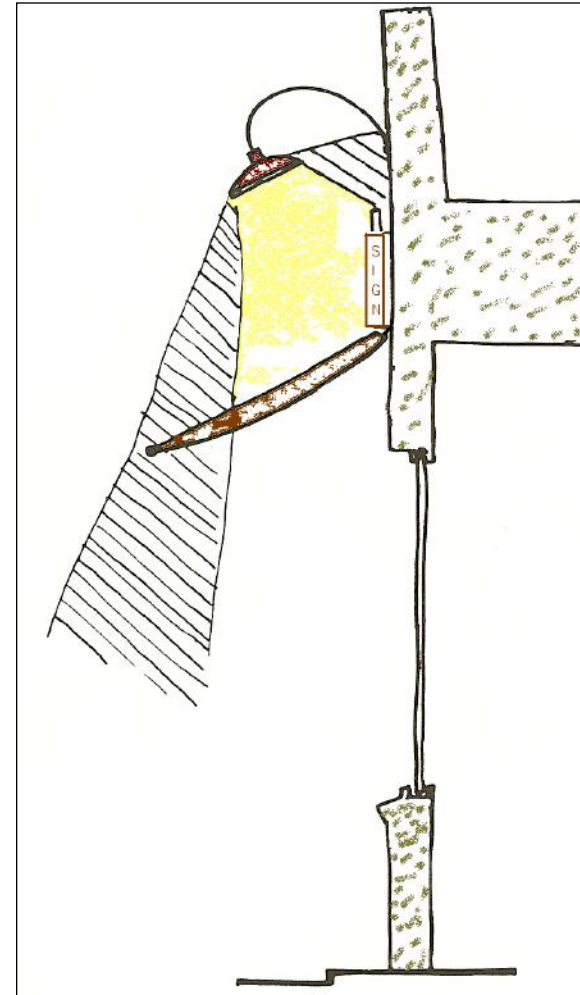
Lighting of the building façade is important for two reasons: 1) It is necessary to advertise the business after daylight hours, and 2) lighting both during and after business hours is a deterrent to crime.

The following *standards* shall apply:

- Lights that are mounted on the building should be down-lit and integrated as an architectural component of the building.
- All outdoor lighting, including the fixture, pole, and other supporting elements, shall be designed to complement the overall design of the site and prevent excessive glare.
- Exterior lighting shall be International Dark Sky Association (IDA) compliant.

The following *guidelines* are recommended:

- Down-lit gooseneck lamps should be used to illuminate wall signs and projecting signs.
- Timing mechanisms should be used to reduce lighting levels and conserve energy during non-operational hours.
- Energy conservation and LED lighting is encouraged.
- Window displays should be lit after business hours. To minimize excessive lighting, entry points and pedestrian crosswalks should be lit with accent lighting to define these areas rather than using brighter lights throughout the site.
- Lighting may also be used to illuminate attractive architectural features of the commercial building.



Do This: In the illustration above, a down-lit gooseneck lamp is utilized to illuminate the wall sign. The wall sign is appropriately placed within the sign panel and the canvass awning is placed below the wall sign. An appropriately designed exterior lighting scheme not only accentuates building design, but it can also be utilized to enhance the ambiance of the downtown business district.

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Design Objective: To strengthen the historic and unique character of Deposit’s central business district by encouraging building and business owners to restore the original architectural elements of their buildings.

Disclaimer: *The example herein is provided to illustrate key renovation principles and is not intended for construction purposes. An architect or builder should be used to ensure the structural integrity of all renovations.*

Existing Facade:

Over time, renovations to the upper and lower portions of the facade of this three-story building have compromised the architectural integrity of the building. The renovated storefront is no longer consistent with the original building architecture. The original window and door openings on the base floor where changed as was the building materials. The *fake front roof*, which projects out from the facade conceals the original lower cornice and sign panel. The upper cornice of this building has retained many of the original details and should be preserved. It appears that one of the third floor window openings was covered over and the details around the window openings are masked behind the vinyl siding, which is covering the upper stories.

Recommended Renovations:

The renovation, as illustrated in the drawing to the right, restores many of the original architectural elements of the building facade. The storefront at the base of the building is revised to provide a much greater amount of door and window openings, which was common in buildings from this era. The *fake front roof* is removed to reveal the lower cornice and the original sign panel. The sign for the restaurant is then place within the sign panel. On the upper floor of the facade, the original dimensions of the window openings are restored and the vinyl siding is removed to reveal the details of the original window openings. The details along the base, or first floor, of the facade are then carried over to the small addition to the right. Finally, the drawing shows the conversion of the garage into a small cafe or bakery, which would complement the restaurant establishment.



Existing Conditions: This building on Front Street, which houses the Little Italy Restaurant and Pizzeria. The original architecture of the building was compromised by fake front roof, brick at the base of the and changes in window openings on upper floors. The adjacent garage is bleak and uninviting. The small proportion of door and window openings along the base of these buildings do not encourage pedestrians to browse along Front Street.



Suggested Renovation: In the upper illustration, the fake front roof is removed and the sign panel above the storefront is restored. At the base floor, the original window openings and recessed entry doorway are restored. The upper story windows are restored to their original design. These suggested renovations would greatly increase the transparency of each building and create a much more inviting pedestrian and shopping experience downtown.

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Design Objective: To strengthen the historic and unique character of Deposit's central business district by encouraging building and business owners to restore the original architectural elements of their buildings.

Disclaimer: The example herein is provided to illustrate key renovation principles and is not intended for construction purposes. An architect or builder should be used to ensure the structural integrity of all renovations.

Existing Facade:

Over time, renovations to the base, or first floor, of the facade has compromised the architectural integrity of the building. The renovated storefront is no longer consistent with the original building architecture. The original window and door openings and building materials have been replaced. The stone on the front facade, while a nice material clashes with the original architecture of the building. The construction of the *fake front roof*, which projects out from the facade conceals the original lower cornice and sign panel. The upper cornice and shake shingle appear to be original materials and should be preserved. The plastic interior lit projecting sign and stock dusk-to-dawn lighting fixture do not complement the building or the business district.

Recommended Renovations:

The renovation, as illustrated in the drawing to the right, restores many of the original architectural elements of the building facade. The storefront at the base of the building is revised to provide a much greater amount of door and window openings, which was common in buildings from this era. The *fake front roof* is removed to reveal the lower cornice and the original sign panel. The sign for the restaurant is then placed within the sign panel. While not shown in the illustration, gooseneck lamps could be used to light the sign. The plastic interior lit sign and dusk-to-dawn lighting fixture are both removed. In the illustration, one business establishment is envisioned with two large display areas provided to the left of the entrance. This building may be large enough so that it could be divided into two tenant spaces with separate entrances for each.



Existing Conditions: This building on the corner of Pine Street and Division Street was the home of a delicatessen. The original architecture of the building was compromised by fake front roof, stone base and changes in door and window openings on first floor. The renovation results in a small proportion of door and window openings along the base of these buildings, which does not encourage pedestrians to browse along Pine and Division Streets.



Suggested Renovation: In the upper illustration, the fake front roof is removed and the sign panel above the storefront is restored. At the base floor, the original window openings and recessed entry doorway are restored. The upper story windows are retained in keeping with their original design. These suggested renovations would greatly increase the transparency of this building and create a much more inviting experience for pedestrians and visitors as they enter the Village of Deposit.

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Problem: There are no design elements, which help to create an identify or theme for Division Street, which is an important gateway to Downtown Deposit.

Proposed Action: Install period streetlights, sidewalks, hedges (to screen parked vehicles in commercial lot) and street trees, which will provide common design elements that will help to create a unique identity for Division Street. Renovation of existing buildings and infill development should adhere to principles herein.

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New Development in All Mapped Flood Plains

Design Objective: To strengthen the historic and unique character of Deposit’s central business district by encouraging infill buildings on vacant lots, which respect the character of adjacent buildings and are more resilient to flooding.

Disclaimer: The example herein is provided to illustrate key principles of new infill construction that is intended to be more resilient to flooding. An architect or engineer should be used to ensure the structural integrity of all new construction, especially new structures within flood plains.

Case Study: Infill building on Main Street - Livingston Manor, NY

This infill building was constructed on Main Street in Livingston Manor, NY, which is an area that is very prone to periodic flooding. This building was constructed so that the bottom of the lowest horizontal structural member of the lowest floor (excluding the pilings or columns) is elevated to or above the base flood level and the foundation and structure attached thereto is anchored to resist floatation, collapse and lateral movement due to the effects of wind and water loads acting simultaneously on all building components.

New Development in Flood Prone Areas along Front Street:

The Village shall require that all new construction and substantial improvements of non-residential structures have the lowest floor (including basement) elevated to or above the base flood level or, (ii) together with attendant utility and sanitary facilities, be designed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. Provide that where a non-residential structure is intended to be made watertight below the base flood level, (i) a registered professional engineer or architect shall develop and/or review structural design, specifications, and plans for the construction, and (ii) shall certify that the design and methods of construction are in accordance with accepted standards of practice for new construction in flood prone areas.



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Above: Decorated lower and upper cornices are common in the central business district and along Second Street within the Village of Deposit. These Design Guidelines strongly encourage the preservation and restoration of decorative cornices, which help to define the unique architecture of the Village’s commercial, civic, cultural and residential structures. New infill buildings should include decorative cornices into the building design. The photos provided on this page are but a few good examples of decorative cornices, which exist within the Village of Deposit.

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DEVIATIONS & MODIFICATIONS

The Planning Board may waive or modify any design standard contained in these Design Guidelines to encourage the implementation of alternative or innovative practices, which implement the intent of these Guidelines and provide equivalent public benefits without significant adverse impacts on surrounding development. The Planning Board may grant any such modifications, if approved by a simple majority of all members in attendance.

In granting a modification, the Planning Board may require conditions, which will substantially secure the objectives of the modified standard and will substantially mitigate any potential adverse impact on the environment or on adjacent properties, including but not limited to additional landscaping or buffering.

CONFLICTING PROVISIONS

If any provisions of these Design Guidelines are inconsistent with one another, or if they conflict with provisions found in other adopted codes, local laws, or regulations of the Village of Deposit, New York, the more restrictive provision will prevail unless otherwise expressly provided.

COMPLIANCE

Approvals of development plans shall run with the land, and compliance in perpetuity shall be required regardless of subsequent property or structure ownership.

Any Site Plan granted through the authority of this Guide shall be perpetually binding upon the development to the extent that: all buildings and structures shall be maintained in a tasteful, safe and appropriate manner; all landscaping shall be periodically groomed and/or replaced when necessary; all drive, parking and pedestrian areas shall be kept in a safe and passable condition, and all natural areas and environmental areas identified for protection shall be maintained in manner that preserves their aesthetic and natural function. All repairs and maintenance shall be executed promptly.

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Community Character: Those attributes of the Village of Deposit, which make it unique in terms of its natural resources, built environment and its population.

Cornice, Upper: Any horizontal member, structural or nonstructural, projecting outward from the exterior walls at the roofline.

Cornice, Lower: A horizontal member, structural or nonstructural, projecting outward from the exterior walls between the first floor of the building and the upper floors.

Elevation: A mechanically accurate, “head-on” drawing of a face of a building or object, without any allowance for the effects of the laws of perspective. Any measurement on an elevation will be in fixed proportion, or scale, to the corresponding measurement of the real building.

Façade: Front or principal face of a building, any side of a building that faces a street or other open space.

Fenestration: The arrangement of windows and other exterior openings on a building.

Halation: On materials with reflective sheeting used for highway signs, the counter-forms (spaces within the letters) tend to fill in, which makes them appear out of focus. The effect of appearing out of focus is known as halation. (Solution is letters with a stroke width (letter line width) just wide enough to be visible, but narrow enough to prevent halation].

Lintel: A horizontal member spanning a rectangular opening.

Parapet: The extension of the main walls of a building above the roof level. Comment: Parapet walls often are used to shield mechanical equipment and vents.

Perspective Drawing: A drawing of a building façade that is not drawn to scale but provides a conceptual representation of the major elements of the façade in general proportions.

Roof, Gable: A rigid roof forming a gable at both ends of the building.

Roof, Gambrel: A gabled roof with two slopes on each side, the lower steeper than the upper.

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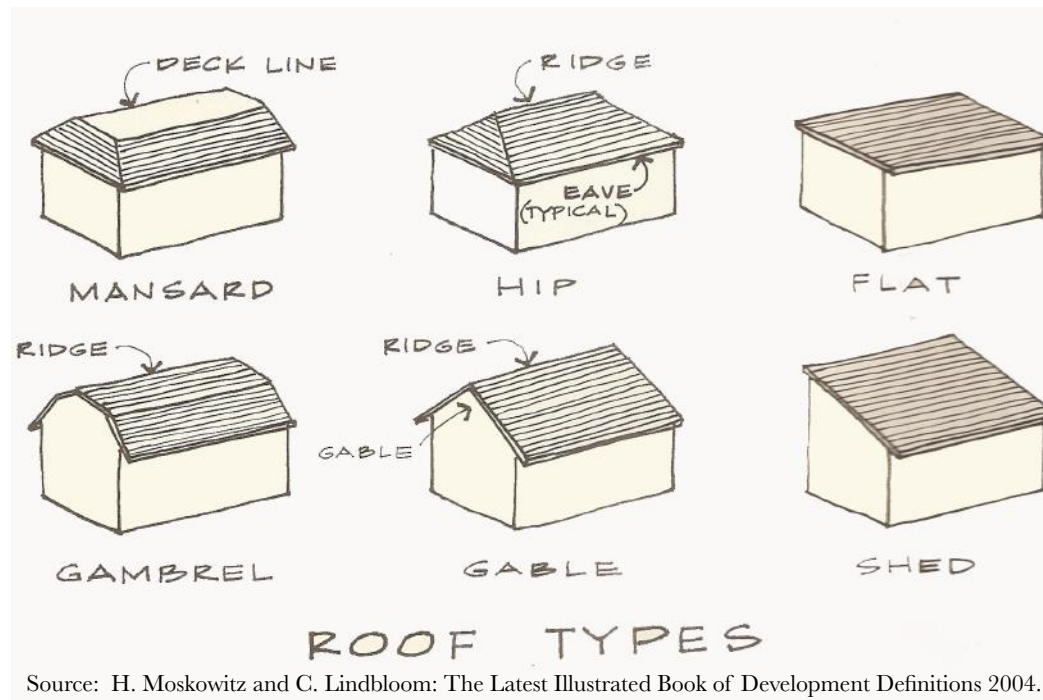
Roof, Mansard: A four-sided roof having a double slope on all sides, with the lower slope much steeper than the upper.

Roof, Shed: A rigid roof with one slope.

Sill: The bottom cross piece of a window or doorframe.

Transom Window: A small window or series of panes above a door, or above a casement, double hung, or display window.

Vest-Pocket Park: A small land area, usually in a built up neighborhood or downtown, developed for active or passive recreation.



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