

# Design Guidelines

## MX, NB & B-1 Business Districts - Fallsburg, New York



# Design Guidelines

## MX, NB & B-1 Business Districts - Fallsburg, New York

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# Design Guidelines: Introduction

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The Town of Fallsburg has five (5) traditional mixed-use business districts located within the hamlets of *Fallsburg*, *Hurleyville*, *Loch Sheldrake*, *Mountindale* and *South Fallsburg*. Many of the Town's most historic buildings are located within these business districts. Over the years, however, many façade renovations have compromised the architectural integrity of these historic buildings thus weakening the visual integrity of these hamlet centers. In other cases, infill development that is excessively dissimilar to surrounding properties in terms of building placement, materials, scale and/or signage has weakened the fabric that ties together the historic core of the business district.

The *purpose* of these Design Guidelines is to provide a framework in which to guide the renovation of existing buildings, new infill development and public investments in a manner that protects historic resources and strengthens the fabric of the Town's hamlet centers and business districts. These guidelines shall apply to all buildings within the Town of Fallsburg's MX-Mixed Use; NB-Neighborhood Business; and B-1 Business Zoning Districts. They are meant to supplement existing Site Plan Review and Sign Regulations by illustrating how building design can enhance the built environment.



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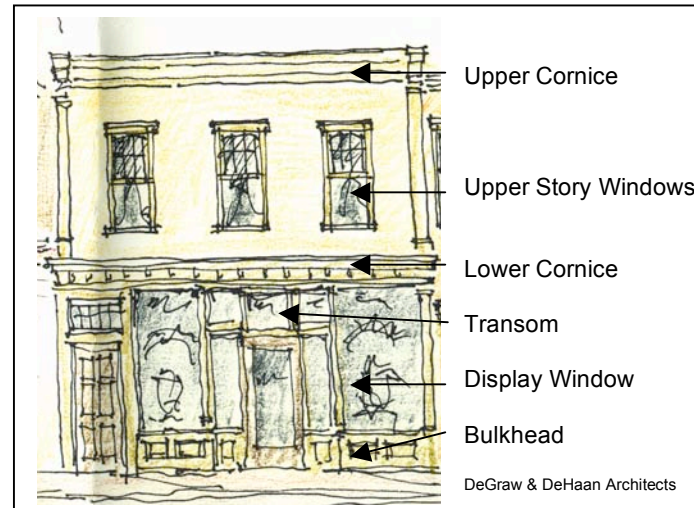
# MX-Mixed Use District Design Guidelines: Overview

**B**uildings within the *MX-Mixed Use Zoning Districts* shall incorporate the basic features of a pedestrian-oriented mixed-use business district. Retail storefronts shall be provided on the first floor of two or three-story buildings. Storefronts shall be oriented to the Street. The following basic architectural features should be incorporated into all storefronts within the MX – Mixed Use Zoning District:

- Recessed entry for storefront (useless mixed use building has a front porch);
- Bulkhead;
- Display window;
- Transom [where original to architecture];
- Cornices;
- Upper-story windows in proportion with building and in scale with traditional patterns found in the Town's hamlet centers; and
- Quality construction and materials

Renovation of building facades should preserve as much of the original building fabric as possible. For example, original windows, doors, cornices and building materials should be retained. If replaced, new windows should fit window openings and be designed to look like original windows. The use of vinyl or aluminum siding that masks the architectural features of a building shall be prohibited.

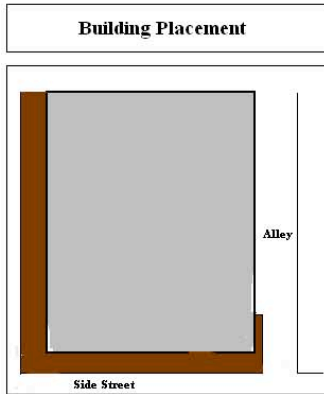
New buildings shall generally align to the edge of the sidewalk in order to maintain a building line along streets within hamlet centers. Where there is room to provide off-street parking, it should be provided to the rear of buildings. Rear storefront entrances are encouraged, where feasible. Additional criteria for the placement of buildings are provided under Site Design.



**Izzy's Aunt Building:** This one-story commercial building is located on Main Street in the hamlet of Hurleyville. The stepped parapet gives the illusion of multi-stories making it more compatible in scale with surrounding buildings. The renovation of this historic building façade preserved the original building materials. The owner maintained display & transom windows, recessed entry and the bulkhead. This is an excellent example of how renovations should be handled in the hamlets.

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# MX-Mixed Use District Design Guidelines: Site Design for Mixed Use Buildings

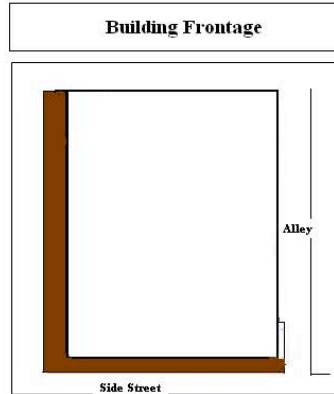


**Setbacks:**

Buildings shall be located within the grey shaded area as shown in the above diagram. The building footprint shall be built to the sidewalk line when facing a public street.

Within the MX-Mixed Use District, a building can have a zero setback on the front and side yards; however, there is a 10 foot rear yard setback requirement. A setback to provide sufficient sight distance will be required for buildings located on a corner lot.

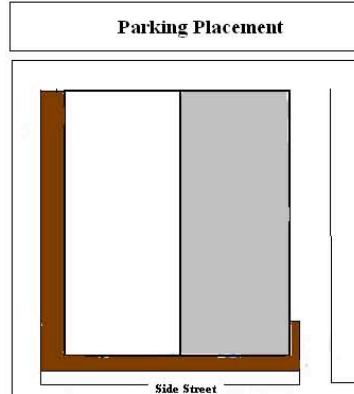
Front Setback: 0' Min.  
Side Yard: 0' Min. to 12' Max.  
Corner Side: 0' Min. to 12' Max.  
Rear Setback: 10' Min.



**Encroachments Allowed:**

Awnings, balconies, and perpendicular signs in accordance with the Town's Sign Regulations, may encroach on the Public R-O-W and shown in the brown shaded area noted above. Such encroachment is permissible provided an 8 foot high clear walkway is maintained in all instances and public access is unobstructed.

Pursuant to Section 130-5.18 of the Town Code, outdoor cafes shall also be permitted as an accessory use within the MX-Mixed Use District. See Section Section 130-5.18 for details.

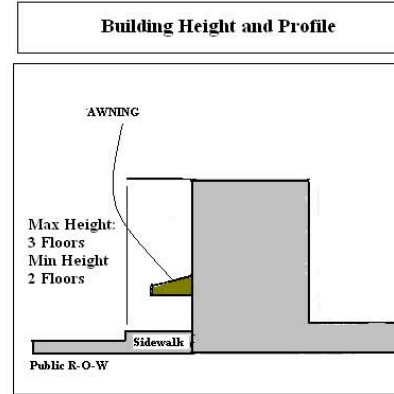


**Parking Requirements:**

Within the MX-Mixed Use District, off-street parking shall only be permitted in the rear yard.

Applicants can meet their off-street parking requirements in one or more of the following manners: 1) spaces located on-site, or 2) an exemption or waiver in accordance with Section 130-8.3 of the Town Code.

**Alleys:** Where feasible, access to off-street loading should be provided from designated alleys that are at least 15 feet in width.



**Maximum Height & Profile:**

Within the Mixed Use District, the maximum building height shall be 35 feet.

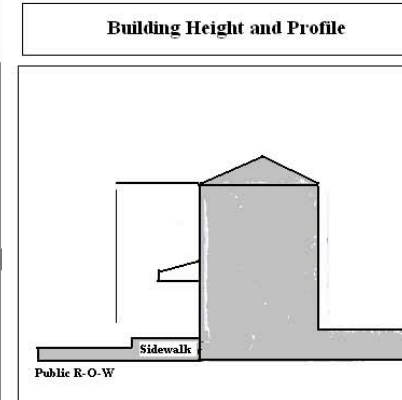
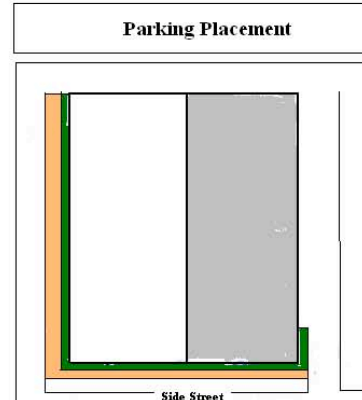
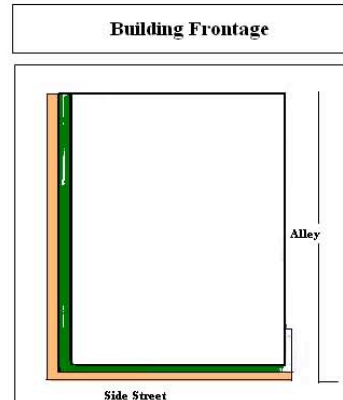
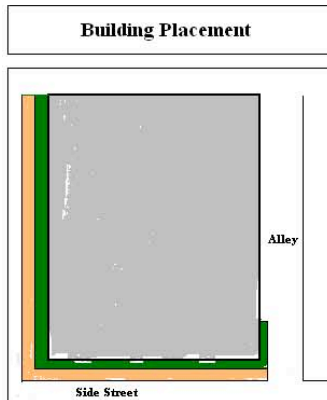
Minimum: 2 stories  
Maximum: 3 stories

**Rooflines:** Infill building shall incorporate horizontal or sloping rooflines. The use of a parapet to rise above the roofline and an upper cornice shall be permitted.

**Infill Buildings:** Shall respect adjacent buildings with respect to height, materials, and building placement.

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# MX-Mixed Use District Design Guidelines: Site Design for Rowhouses



## Row house Setbacks:

Buildings shall be located within the grey shaded area as shown in the above diagram. A building may encroach on the five foot setback shown in green so that the building abuts the sidewalk. Applicants may maintain a five foot front yard where such setbacks are integral to the building design, help to break up the mass of larger buildings [by providing recesses], or are necessary to provide sight distance at corners. Such yards must be landscaped.

Front Setback: 0' Min. to 5' Max.  
Side Yard: 0' Min. to 10' Max.  
Corner Side: 0' Min. to 10' Max.  
Rear Setback: 5' Min.

Townhouse Setbacks: See  
Schedule I Use & Bulk Req.

## Encroachments Allowed:

Awnings and perpendicular signs in accordance with the Town's Sign Regulations, may encroach on the Public R-O-W and shown in the tan shaded area noted above.

Such encroachment is permissible provided an 8 foot high clear walkway is maintained in all instances and public access is unobstructed.

Encroachments must be clearly shown on proposed building and site plans and are subject to the approval of the Code Enforcement Officer.

## Parking Requirements:

Within the Mixed Use District, off-street parking shall only be permitted in the rear yard.

Applicants can meet their off-street parking requirements in one or more of the following manners: 1) spaces located on-site, 2) in a shared parking facility within 300 feet of the building, and 3) an exemption or waiver in accordance with Section 130-8.3.

Alleys: Where feasible, access to off-street loading should be provided from designated alleys that are at least 15 feet in width.

## Maximum Height & Profile:

Within the MX-Mixed Use District, the maximum building height shall be 35 feet.

Minimum: 2 stories  
Maximum: 3 stories

Rooflines: Infill buildings may incorporate sloping or flat rooflines. The type of roof line permitted shall be based upon the primary roofline in the general vicinity of the project site.

Parapets: Are encouraged to screen HVAC units. The first four feet of a parapet structure does not count to overall building height.

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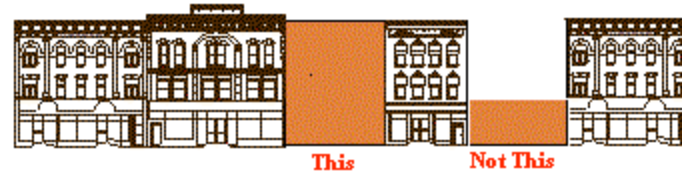
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# MX-Mixed Use District Design Guidelines: Building Mass & Scale

New buildings should respect the mass & scale of the traditional building stock in the Town's hamlet centers. The vertical and horizontal delineation of new structures should match that of traditional structures so that they fit within the context of the existing building stock. In this respect, the mass & scale of new buildings is as important to fitting in as is the placement of new buildings on a site.

The following design principles should be followed when designing new infill buildings:

1. **Building height:** The height of new buildings should not appear excessively higher or lower than surrounding properties [see illustration upper right corner of page].
2. **Floor-to-floor heights:** It is critical that the floor heights of new infill buildings are in keeping with the floor heights of adjacent structures. Furthermore, upper floor windows must be divided into individual window units that are similar in scale to adjacent structures.
3. **Break up the mass of the building elevation:** For large infill buildings, the façade shall be divided into modules to give the appearance of several buildings. This is needed to maintain the traditional building pattern of mixed-use hamlet centers. This can be achieved through the use of colors and change in materials to provide a clear distinction between the modules. Recesses may also be used. Building facades should also provide a clear distinction between the first floor and the upper floors of the structure through the use of awnings, a lower cornice and change in materials.



New infill buildings shall be designed in a manner that ensures that they are compatible in scale to the existing building stock within the MX-Mixed Use Zoning Districts. Such buildings shall also provide for a visual transition from commercial buildings and nearby single-family homes when abutting surrounding residential districts.

**Infill building:** The infill building in the center of the photo above complements the mass and scale of surrounding buildings. This example is from the City of Saratoga, New York. Note how the new building incorporates similar building materials, decorative brick patterns, is built to the sidewalk, etc.



As new buildings are proposed in the MX-Mixed Use Districts within the Town's hamlet centers, it is important that the building placement, materials, scale and height complement surrounding buildings. Doing so will strengthen the fabric of Fallsburg's hamlet centers.

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# MX-Mixed Use District Design Guidelines: Form & Roofline

Hamlets of Fallsburg, Hurleyville, Loch Sheldrake, Mountandale and South Fallsburg

The predominant building stock within the hamlet center business districts consists of structures with flat roofs, hipped roofs or gable roofs. In some instances pitched roofs are concealed from the street view by a *parapet* wall. Within Fallsburg's hamlet centers, rooflines vary allowing for flexibility in new building design. Still, general roof design standards are needed so that new structures complement adjacent historic buildings. Buildings with flat roofs should incorporate a decorative upper cornice and/or parapet. Buildings with gable and hipped roofs should overhang the front building facade and include decorative eaves or brackets to add visual interest to the facade (photos to right illustrate point).

- Roof mounted mechanicals shall be concealed with parapet walls that incorporate a cornice, and
- Cornices shall be required on new buildings.



**Above** (left to right): Business core of Mountandale showing typical building heights, setbacks, and roofline; new *Rolling V Bus Corp. Building* near the South Fallsburg hamlet center. The Rolling V Bus Corp building is a new structure that complements the Town of Fallsburg.



**Above:** There is an eclectic mix of rooflines in South Fallsburg including gable, hip and horizontal. The building to the left was originally built with a flat roof - the gable roof later added; middle building showing hip roof and building far right with a flat roof concealed behind a parapet wall.



**Above:** The *Ming Liquors & Wines* building has a flat roof with a decorative upper cornice that complements adjacent buildings; the *Ming Moon Restaurant* has a hip roof. It appears that the upper stairs front porch was enclosed -concealing the original design.

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# MX-Mixed Use District Design Guidelines: Form & Roofline

Hamlets of Fallsburg, Hurleyville, Loch Sheldrake, Mountaindale and South Fallsburg

**W**ithin the hamlet of *Mountaindale*, the predominant roof style is the gable roof. However, there are buildings with hipped and flat roofs. Generally speaking, the roofline of infill buildings should complement adjacent structures. In the hamlet of Hurleyville, there are many buildings with flat roofs. Here again, the type of roof that is appropriate for a new infill building will be determined by looking at the predominant pattern of structures in the vicinity of the new building. This distinction should be encouraged and new infill structures in these areas should respect the form & rooflines of surrounding structures.

The following additional standards shall apply:

- Renovation of structures in these areas shall retain the integrity of the architecture, setbacks and scale of existing structures.



**Above:** Gable rooflines predominant Mountaindale's Main Street. A large percentage of its mixed-use buildings also have front porches. These design elements should be incorporated into the design of new infill buildings.



**Above:** View of Main Street Mountaindale looking north. Again, gable rooflines predominant Mountaindale's Main Street. Notice the one-story structure incorporates a parapet to add mass and scale to the structure. Building size, setbacks, and rooflines help to define the character of this hamlet center.



**Above:** View of Main Street Hurleyville that shows a number of historic structures with flat roofs. A parapet wall is used to conceal the roofline and add mass to the first three buildings. Unfortunately, the bay windows in the yellow building do not complement the buildings original design.

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# MX-Mixed Use District Design Guidelines: Building Entrances

The primary entrance to buildings must be clearly defined and oriented toward the street. For mixed use buildings, separate entrances must be provided for retail/commercial and residential uses. All entrances should generally be oriented toward the street. However, residential entrances may be oriented to an alley or off-street parking area in the rear yard. The following general standards shall apply:

- Primary entrances shall be accentuated using architectural features such as:
  - Recessed entries,
  - Display windows and signage, or
  - Awnings and lighting.
- Rear building entrances for retail is encouraged in the MX-Mixed Use Zoning District.



**Above:** The Handcrafters. The recessed entrance to the storefront is well defined and the owners have used awnings to help accent the entrance.



**Above:** The Glass Menagerie in Corning, NY incorporates the classic elements of a traditional storefront on Main Street. Note the well-defined bulkhead, display window and transom as well as the recessed entry.



**Above:** Market Street – Corning, New York. Primary entrance is oriented to the street. The entrance to second floor is located in front center of building façade.

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# MX-Mixed Use District Design Guidelines: Architectural Features

**A**rchitectural features of buildings make the streetscape more interesting and visually appealing. Existing buildings within Town's mixed-use hamlet centers incorporate such features. As infill buildings are developed within the mixed-use hamlet centers, attention must be paid to architectural details in order to conserve the integrity and cohesiveness of the business districts. The following are encouraged:

- Buildings with recessed entries,
- Storefronts to incorporate canvass awnings,
- Use brick patterns to provide visual interest, and
- Use a lower cornice to distinguish the first floor from the upper floors of the building.
- Infill buildings: Look to shapes, patterns and scale within the existing building stock and incorporate them into building new infill building design.

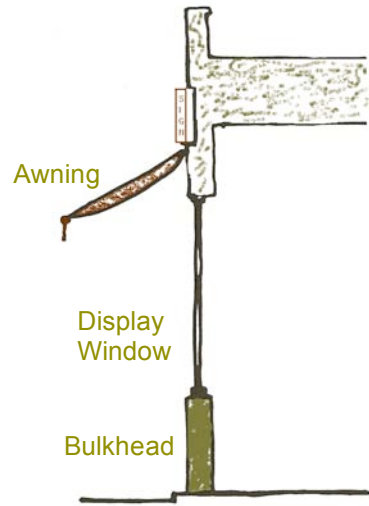


**Above:** New infill buildings in Rhinebeck and Saratoga, New York.

**Above:** New infill building in Saratoga, New York.

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# MX-Mixed Use District Design Guidelines: Architectural Features



**Above:** Retractable awnings are strongly encouraged.

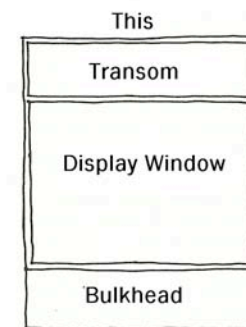
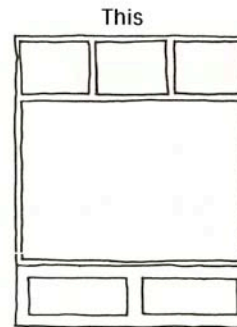


Quarter-round awnings are prohibited.



Fixed awnings like the one above are permitted.

The graphic illustrations included here are provided to give a visual interpretation of some of the concepts that are described in the preceding sections. The illustrations provided on this page demonstrate the appropriate and inappropriate means of designing a storefront in the MX-Mixed Use Zoning District.



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# MX-Mixed Use District Design Guidelines: Architectural Features



**D**ecorative cornices are common elements of mixed-use buildings within Fallsburg's hamlet centers. These architectural elements should be preserved on all existing buildings and not wrapped in vinyl. New infill buildings should incorporate a parapet wall or decorative cornice. The photos provided on this page include several examples of decorative cornices that can be found in Fallsburg's hamlet centers.



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# MX-Mixed Use District Design Guidelines: Materials & Colors

**B**uilding materials and colors are part of the design vocabulary that defines the character of a district. An underlying design theme for Fallsburg's hamlet centers must be "Quality"....quality design, quality materials, and quality finishes. Within the MX-Mixed Use Districts traditional and appropriate exterior finishes include:

- Common red brick siding and stucco.
- Wood lap siding, hardiplank or brick.
- Wood frame windows/doors [also see page 11].

The following exterior finishes are prohibited:

- Vinyl siding or aluminum siding.
- Polished stone, ceramic tile, or mirrored glass.
- [Board & batten, T-1-11.](#)

Building colors should complement the overall character of the hamlet center. *Historic color palettes* - such as those provided by Sherwin Williams or Benjamin Moore - should be used in the selection of building colors.



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# MX-Mixed Use District Design Guidelines: Materials & Colors

Inappropriate building materials and colors can have an adverse impact on the integrity of individual buildings and the hamlet center as a whole. The examples provided on this page illustrate *inappropriate* design. Proposed renovations to existing building facades that incorporate any of the design elements shown on this page shall be prohibited in the MX-Mixed Use Zoning District. The following exterior finishes are prohibited:

- Mansard-like projections (see bottom right photo – store bottom center),
- Faux stone siding on lower level of brick building,
- Vinyl or aluminum siding **and** quarter-round awnings,
- Signage that masks architectural elements of a building, or
- Polished stone, ceramic tile, or mirrored glass.

Building materials should complement the architecture of the individual building.



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# MX-Mixed Use District Design Guidelines: Materials & Colors

## Building Materials & Colors (Historic Color Palette)

<u>Building Element:</u>	<u>Recommended:</u>	<u>Not Recommended:</u>
<u>Façade:</u>	Common red brick Wood clapboard Hardie Plank Lap Siding Stucco (if true to bldg. architecture)	T-1-11 Vinyl or Aluminum Imitation brick siding Faux stone siding Block or plain masonry units Faux log cabin siding
<u>Trim:</u> Wood	Wood  - Finished grade - Painted or stained	Rough cut or unfinished wood  - Faux log cabin - Plywood or T-1-11
<u>Windows:</u>	Wood frame - Painted - Stained Lintels & Sills - Brick or stone Glass - Clear glass for display windows Transom - Clear, etched, frosted, or stained glass Upper Floors - Clear glass	Aluminum frame Vinyl casement  Mirrored or tinted glass  - Opaque glass
<u>Roof:</u>	Asphalt shingles Tin or colored aluminum Parapet caps - Tin, brick or stone	Corrugated Fiberglass
<u>Awnings:</u>	Canvas retractable Canvas fixed - 3-color maximum	Vinyl or quarter-round awnings

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# MX-Mixed Use District Design Guidelines: Lighting, Signs & Awnings

Signage within the MX-Mixed Use Zoning District shall comply with [Chapter 31 - Signs of the Fallsburg Town Code](#). It is also important that signage respect the architecture of the building and not mask architectural features such as the lower cornice of second story windows. It is important that new infill buildings be designed in a manner that anticipates the incorporation of signage and lighting consistent with the Town Law.

- New infill buildings should be designed to incorporate signage into the building facade,
- Down-lit gooseneck lamps are recommended to illuminate signage [see page 16], and
- Projecting signs are encouraged in the hamlet centers since they make it easier for pedestrians to find stores (see photos below).



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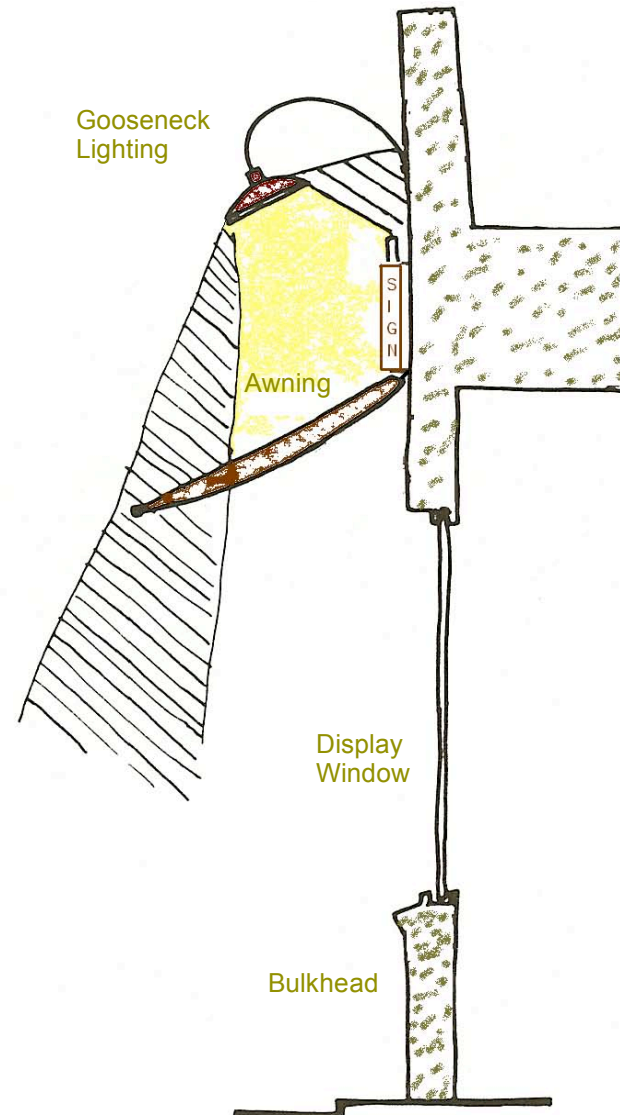
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# MX-Mixed Use District Design Guidelines: Lighting, Signs & Awnings

Lighting of the building façade is important for two reasons: 1) It is necessary to advertise the business after daylight hours and 2) lighting both during and after business hours is a deterrent to crime. Lighting can also be used to illuminate attractive architectural features of the storefront as well as the signage. Interior lighting of the window display is necessary to highlight items for sale and the Town encourages window displays to be lit after business hours. Appropriately designed exterior lighting not only accentuates building design, but it also enhances the ambiance of the hamlet shopping and dining area.

The illustration to the right shows the appropriate placement of exterior lighting. The following standards also apply:

- Infill building design must incorporate the appropriate placement of lighting on the building,
- Down lit gooseneck lamps are recommended to illuminate signage, and
- Lighting should not provide for excessive light or glare –energy conservation is encouraged.



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# MX-Mixed Use District Design Guidelines: Lighting, Signs & Awnings

**S**ignage is an important part of every Main Street business. When placed to fit within architectural design of the building façade, signage can add to the visual interest of the building façade while letting customers know the nature and location of the business. However, when signage is not properly placed on the building, or is excessively large, it results in unsightly visual clutter.

In the illustration to the right, the large bulky sign above the cornice conceals part of the second floor window and masks part of the cornice. Such signage shall not be permitted in the MX-Mixed Use Zoning District. The proper placement of the signage within the sign panel above the display window is shown in the lower half of the illustration.

**A**wnings have been a part of the streetscape in Fallsburg's hamlet centers for many years. Awnings serve a useful purpose in that they provide protection from inclement weather. *Awning signs* should be incorporated into awnings that are retractable and made of heavy canvas or comparable material. Fonts and logos used on awning signs should match other styles used within the sign program on the building.

Awnings should be installed in a manner that does not hide or mask the traditional architectural elements of the building façade. The illustration to the right shows the proper placement of a retractable awning.

Aluminum, plastic, or vinyl awnings or canopies shall not be used within the [MX-Mixed Use Zoning District](#).

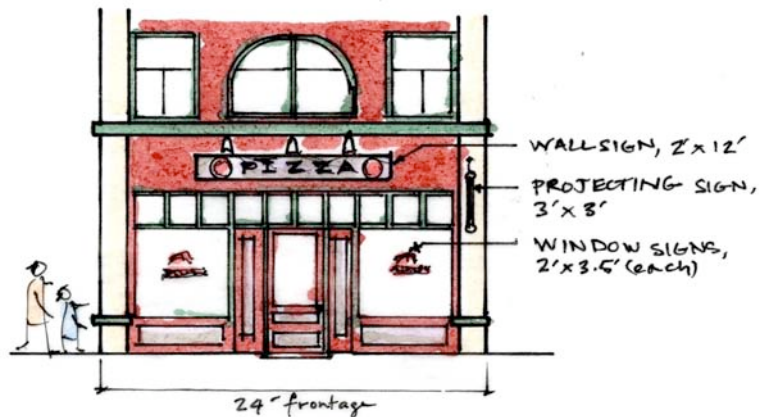


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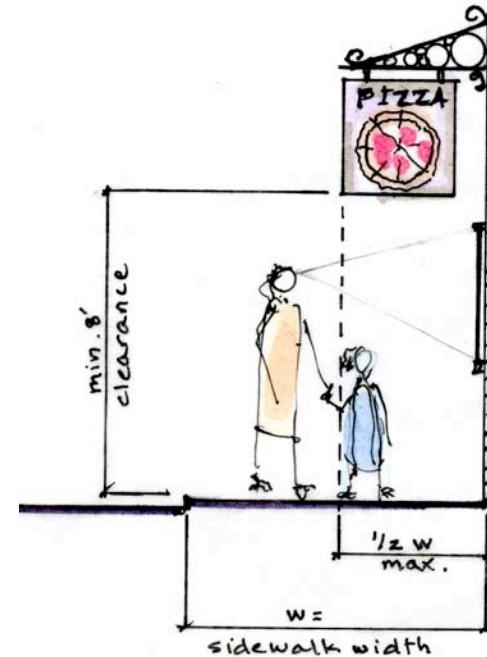
**F**allsburg's hamlet centers contain the Town's most densely concentrated mix of businesses and public buildings. Buildings typically sit close to the sidewalk, on lots with frontages between 20' to approximately 100'. The MX-Mixed Use Zoning Districts include restaurants, shops, professional offices, municipal buildings and personal services. Wall signs, window signs, awning signs and projecting signs are permitted in this district under the provisions of the Town's Sign Regulations - Chapter 31 of the Town Code.

The goal for the hamlet center business districts is to create a lively and attractive pedestrian environment. Identification signs that are well-designed can encourage potential shoppers to get out of their cars and take a look at what the central business district has to offer. As they walk, such signage helps them to locate businesses.



**Above:** In the example above, the cumulative sign area permitted equals two square feet for each lineal foot of building frontage. Thus, a building that is 24' wide would be allowed 48 square feet of sign area. This allotment can be split up among different types of signs. In the example above, the 2' x 12' wall sign, 3' x 3' projecting sign and two 2' x 3.5' window signs total 47 square feet.

**Below:** Projecting signs should incorporate text and images or logos to communicate a message quickly.



**P**rojecting signs must clear the sidewalk by at least eight (8) feet and may project no more than four (4) feet from the building or one-half the width of the sidewalk, whichever is less.

Projecting signs must be pinned away from the wall at least six (6) inches and must project from the wall at an angle of 90 degrees.

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# MX-Mixed Use District Design Guidelines: Application of Principles

**Building on Main Street (South Fallsburg):** The following example is provided to illustrate key façade renovation principles. An architect or builder should be used to ensure the structural integrity of all renovations.

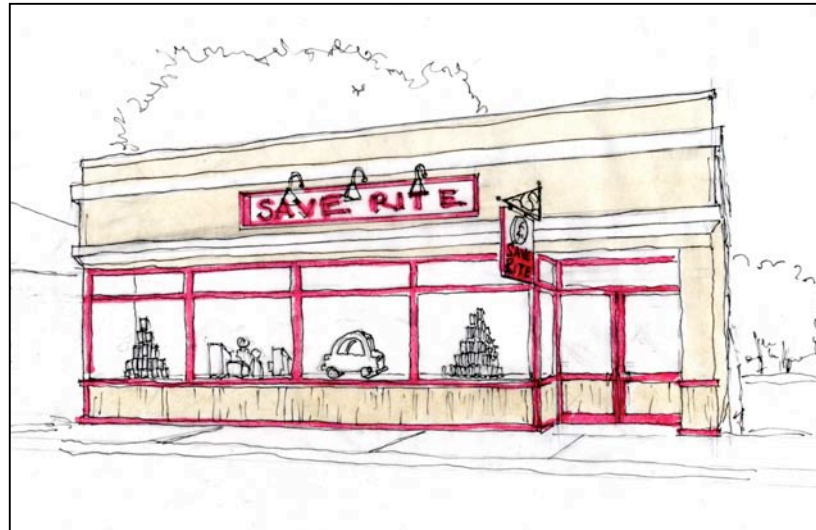
**Existing Façade:** The façade of this building was modified over the years so that large display windows were replaced with much smaller windows. This is a renovation faux pas. The existing *interior illuminated cabinet signs* are inconsistent with the character of the building and Fallsburg's historic hamlet centers. In this example, signage is placed too close to the upper cornice and the surface of projecting sign is not perpendicular to the building wall. Furthermore, the projecting sign shouldn't extend above the parapet wall.

**Suggested Renovations:** Suggested renovations are visually illustrated in the sketch that is provided below.

The renovation of this façade should include the restoration of the bulkhead, large display windows and transom windows that were original to the architecture of this building. The lower and upper cornices should also be restored and the *wainscoting* removed.

In the sketch of the proposed renovation, the sign is centered within the sign panel and externally lit with gooseneck lamps. A true projecting sign is placed perpendicular to the building wall at a height that provides nine (9) feet of clearance from the bottom of the sign to the sidewalk. The new projecting sign is placed at a height that is clear to oncoming pedestrians and vehicles making it easier to find the place of business.

These renovations not only improve the aesthetics of the building but the vitality of the business district.



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# MX- Mixed Use District Design Guidelines: Application of Principles

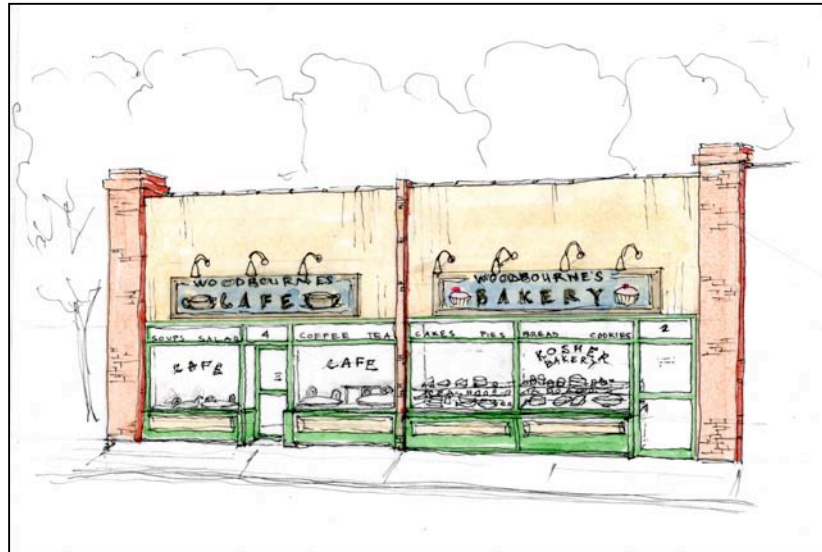
Building on Main Street (Woodbourne): The following example is provided to illustrate key façade renovation principles. An architect or builder should be used to ensure the structural integrity of all renovations.

## Suggested Renovations:

Existing Façade: Over time, renovations to the lower portion of the façade have compromised the architectural integrity of this building. The storefront panels are no longer consistent in terms of building materials or scale. The signs are inappropriate in terms of their placement, materials and design. To begin, only one wall sign per business is permitted. The bakery has two wall signs. The use of vinyl awning signs and temporary vinyl banners for wall signs are prohibited in the MX-Mixed Use District.

## Recommended Renovations:

The proposed renovation restores the balance between the two storefront units. The scale of the bulkheads, display windows and transom windows for each commercial unit is changed so that they are proportional to each other. In the sketch, the wall signs are consistent in terms of colors, size, shape and materials. The wall signs provide for some degree of consistency, while allowing each business the ability to identify the uniqueness of their establishment. There is also a hierarchy of message: wall signs - simple, relatively large text describes name and nature of business (e.g. bakery or cafe); along with window signs - providing more specific and complex information targeted at potential customers who approach the store. Secondary information about phone numbers, hours of operation, delivery should be placed on window signs, not wall or projecting signs.



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# MX- Mixed Use District Design Guidelines: Application of Principles

Building on Main Street (Mountaindale): The following example is provided to illustrate key façade renovation principles. An architect or builder should be used to ensure the structural integrity of all renovations.

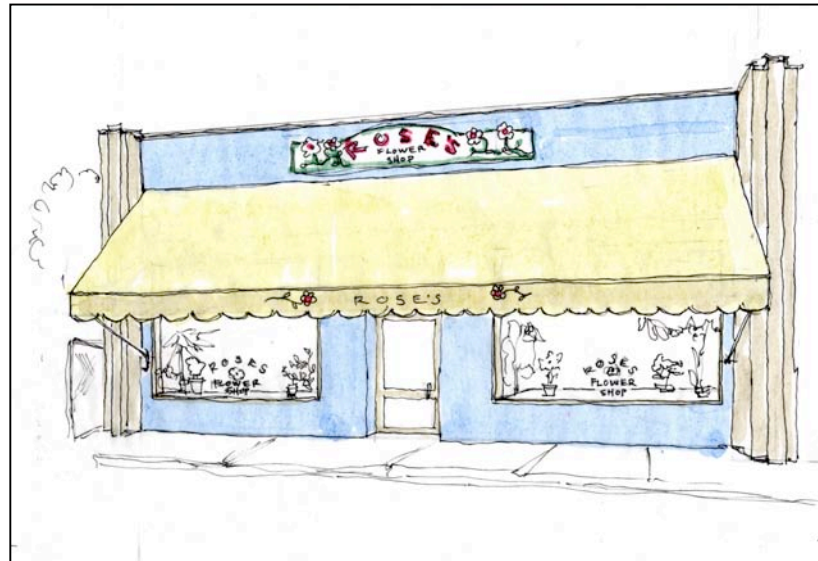
## Suggested Renovations:

Existing Façade: Over time, renovations to the lower portion of the façade have compromised the architectural integrity of this building. The photo shows a portion of a larger building that used to house the offices of a car dealership. The large office windows have been replaced with smaller windows and blue and white wall panels that detract from the original architecture of this building.

## Recommended Renovations:

This renovation contemplates the reuse of this former car dealership building as a retail use - though it could just as well accommodate an office use. The proposed renovation creates balance by establishing a bulkhead on the left side and creating large display windows of equal size so that they are proportional to one another. Different colors are used to accent to columns and distinguish them from the building wall.

In the sketch, the wall sign is consistent in terms of colors, size, shape and materials with the front flap of the awning. There is also a hierarchy of message: wall sign and awning flap lettering and graphic with simple, relatively large text that describes name and nature of business (e.g. flower shop); along with window signs - providing more specific and complex information targeted at potential customers who approach the store. Secondary information about phone numbers, hours of operation, delivery should be placed on window signs, not wall or projecting signs.



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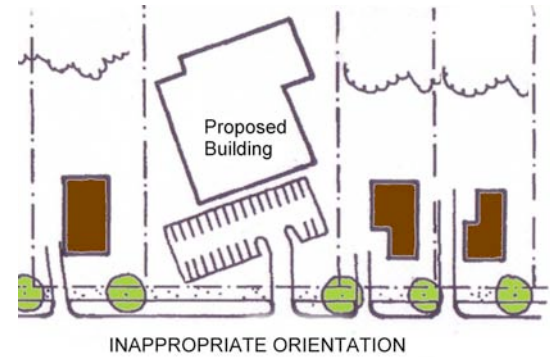
# Design Guidelines: Building Mass & Scale

## NB-Neighborhood Business and B-1 Business Districts

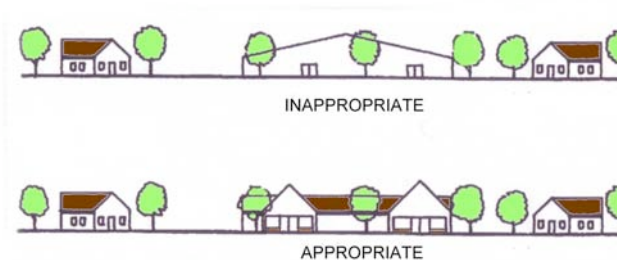
**B**uildings should respect the mass & scale of the traditional building stock within the Town of Fallsburg business districts. In this respect, the mass & scale of new buildings is as important to fitting in as is the placement of new buildings on a site. The following design principles should be followed when designing new commercial and industrial sites:

1. **Building height:** The height of new buildings should not appear excessively higher or lower than surrounding properties. In the NB-Neighborhood Business and B-1 Business Districts the maximum building height is thirty-five (35) feet.
2. **Building orientation:** Buildings shall be placed on the site in a manner that respects the rhythm of the building placement of adjacent properties. Along Route 42 and Route 52, buildings are oriented parallel to the right-of-way and this pattern should be followed.
3. **Break up the mass of the building elevation:** For large buildings, the façade shall be divided into modules to give the appearance of several smaller buildings. This can be achieved through the use of colors and change in materials to provide a clear distinction between the modules. Recesses and projections to draw greater distinction between the modules shall also be incorporated, especially on larger buildings.

Building facades should also provide a clear distinction between the first floor and the upper floors of the structure through a change in materials and horizontal design elements.



**Building Orientation:** In the illustration above, the proposed retail center is inappropriate because the placement of the building disrupts the rhythm of existing buildings and it is not oriented parallel to the street.



**Mass & Scale:** Design elements should be incorporated into large building to break up the perceived mass of the building. In the example above, the first image is inappropriate since the structure appears excessively large. The second image below it incorporates recesses and projections to break up the mass of the structure, which is more in keeping with adjacent buildings. These architectural features also help to distinguish individual units from one another.

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# Design Guidelines: Form & Roofline

## NB-Neighborhood Business and B-1 Business Districts

The commercial and industrial building stock within the Town's NB-Neighborhood Business or B-1 Business Districts varies widely in terms of architecture and quality of construction.

The following standards shall apply to new retail centers and commercial establishments:

- Dormers shall be used on gable roof lines that are in excess of 100 feet in length [where the slope faces the r-o-w] to reduce perceived mass;
- Roof form shall be changed to help express different modules of the building [photos bottom left and right]; or
- Change height of wall plane between modules.



**Above:** Jiffy Lube/Hoffman Car Wash in the Town of Colonie, NY. The building incorporates dormers, changes in roof form, and changes in colors and materials to break up the mass of the building. Generous landscaping and subdued signage also enhance the appearance of this retail establishment.



**Above:** Hurley Ridge Market, West Hurley, NY. The use of dormers, recesses and projection break up mass of building walls and add visual interest.



**Above:** Eagle Plaza in Monticello, NY. This is an example of a new façade that incorporates dormers, recesses and projection to break up the mass of the building. Good example of adaptive reuse of older retail center.

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# Design Guidelines: Form & Roofline

NB-Neighborhood Business and B-1 Business Districts



**Above:** Rite-Aid Lake Placid - Appropriate Design. This Rite-Aid incorporates a sloping roofline, projections, landscaping and the use of stone and heavy timber material. Such elements are encouraged in Fallsburg.



**Above:** Stewart's Shop in Cooperstown, NY. The muted colors of the gas canopy coupled with subtle signage with gooseneck lamps allow this retailer to complement the historic character of the community.



**Above:** Rite-Aid Ellenville - Inappropriate Design. Standard box-like buildings shall be prohibited in the Town of Fallsburg. The Architectural Review Board shall have the power to require alternatives to standard chain or franchise design.



**Above:** Ulster Savings Bank on Route 209 in Marbletown, NY. The sloping roofline, large setback from Route 209, generous landscaping and placement of parking to the rear of the site helps to protect the viewshed from Route 209.

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# Design Guidelines: Building Entrances

NB-Neighborhood Business and B-1 Business Districts

The primary entrance to buildings must be clearly defined and oriented toward the street. For mixed-use buildings, separate entrances must be provided for retail/commercial and residential uses. All entrances, however, shall be oriented toward the street and be well defined. The following general standards shall apply:

- Primary entrances shall be accentuated using architectural features such as:
  - Recessed entries,
  - Porticos or projections,
  - Display windows and signage, or
  - Lighting.

Entrances should reflect the human scale and provide for a sense of enclosure that directs customers to the building entrance.



**Above:** Rite Aid-Lake Placid, New York. An example of a well-defined human-scale building entrance. The portico also provides shelter during inclement weather.



**Above:** Dunkin' Donuts- Rensselaer, New York. Example of well-defined building entrance that is designed to the human scale. This building incorporates a portico to help to define the human scale of the entrance.



**Above:** New "Rolling V" Office Addition - South Fallsburg, New York. An example of well-defined building entrance that is oriented to the street. This building incorporates a projection and lighting to help to define the entrance.

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# Design Guidelines: Architectural Features

## NB-Neighborhood Business and B-1 Business Districts

**Appropriate Architecture:** The commercial businesses illustrated on this page all incorporate design principles in keeping with the standards for the Town of Fallsburg’s NB-Neighborhood Business and B-1 Business Districts. Each of these buildings incorporate large front setback with landscaping, sloping rooflines, dormers or projections to break up building mass and are made of quality materials so that they fit into the rural landscape. These photos are meant to give a visual interpretation of some of the concepts that are described in the preceding sections. The illustrations provided on this page demonstrate good design of commercial buildings.



**Above:** Stone Ridge Healing Arts, Stone Ridge NY. This building was built in 2005 but incorporates traditional building materials found in Stone Ridge. It fits right in.



**Above:** Bank of Greene County – Coxsackie, New York. This Hess Station incorporates clapboard siding, gable roof, dormers, recesses and projections to reduce perceived mass. Landscaping and signage help to soften commercial use.



**Above:** Greystone Commerce Park - Hartwick, NY. Building setback, landscaping and projections help to soften this industrial building.

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# Design Guidelines: Architectural Features

NB-Neighborhood Business and B-1 Business Districts



## Inappropriate Architecture:

Commercial businesses that do not respect the rural character of the Town can have an adverse impact on the visual environment. The examples provided on this page represent commercial developments that would not respect the rural character of the Town of Fallsburg. Proposals for new development that incorporate the features contained within this page will not be permitted. The following shall be prohibited.

- Box-like structures;
- Faux-mansard rooflines, and
- Awning signs on ridged frames.



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# Design Guidelines: Materials & Colors

## NB-Neighborhood Business and B-1 Business Districts

**B**uilding materials and colors are part of the design vocabulary that defines the character of a community. An underlying design theme for Fallsburg from this point forward must be “Quality”....quality design, quality materials, and quality finishes. Within the NB and B-1 Zoning Districts appropriate exterior finishes include:

- Common red brick siding;
- Wood lap siding or shake shingle;
- Wood frame windows/doors; or
- Stone with natural wood.

The following exterior finishes are prohibited:

- Vinyl siding or aluminum siding.
- Polished stone or mirrored glass.



**Above:** Price Chopper-Lake Placid, NY. Variations in the roofline, recessed entry, and use of stone and timbers make this building visually appealing.



**Above:** NBT Bank-Lake Placid, NY. Variations in the roofline, recessed entry, and use of stone and timbers make this building visually appealing.



**Above:** CVS-Southbury, CT. The wood guide rail and abundant landscaping soften the edge of this parking lot.

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# Design Guidelines: Materials & Colors

NB-Neighborhood Business and B-1 Business Districts

## Building Materials:

Building Element:

Recommended:

Prohibited:

Façade:

Common red brick  
Wood clapboard  
Shake Shingle  
Natural stone  
Hardy Board

**T-1-11**  
Vinyl or Aluminum  
Imitation brick siding  
Faux stone siding  
Block or plain masonry units  
Faux log cabin siding

Trim:

**Wood**  
- Finished grade  
- Painted or stained  
- Heavy Timber

Faux log cabin  
- Plywood  
- T-1-11

Windows:

**Wood frame**  
- Painted  
- Stained  
**Lintels & Sills**  
- Brick or stone  
**Glass**  
- Clear glass

Vinyl casement  
  
Mirrored or tinted glass

Awnings:

Canvas or comparable retractable  
- 3-color maximum

Vinyl or Plastic fixed

## MECHANICALS:

Wall Mounted AC Units:

Mounting on side of building

Mounting on building facade  
Facing public r-o-w

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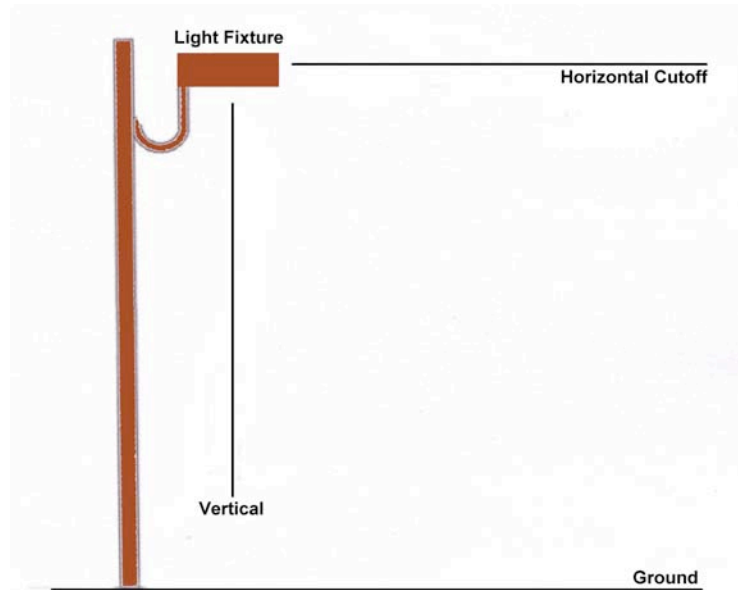
# Design Guidelines: Signs & Lighting

## NB-Neighborhood Business and B-1 Business Districts

**S**ite lighting should be sufficient to facilitate the safe and convenient circulation of motorists and pedestrians, but not too bright so as to produce excessive light and glare. Given the rural nature of the Town, coupled with the close proximity of residences in the vicinity of the Town's commercial and industrial areas, lighting shall be designed, directed and shielded in such a manner that direct light does not leave the perimeter of the site.

All outdoor lighting, including the fixture, pole, and other supporting elements, shall be designed to complement the overall design of the site and prevent excessive glare. To minimize excessive lighting, entry points and pedestrian crosswalks can be lit with accent lighting that helps to define these areas rather than using brighter lights throughout the site. Lower level lighting can then be used in other areas of the site where less lighting is required. Shorter lighting poles can also be used to light pedestrian walkways and/or the use of light posts also referred to as bollards.

- Timing mechanisms and photo cells to reduce light levels and conserve energy during non-operational hours.
- Light that is mounted on the building shall also be down-lit and integrated as an architectural component of the building.
- All pole mounted lighting [as shown above] shall have a full cut-off lens that does not allow light to shine above a 90 degree angle measured from the vertical line from the center of the lamp.
- Low pressure or high-pressure sodium lights, metal halide, florescent and compact florescent lights are encouraged.



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# Design Guidelines: Service Areas

## NB-Neighborhood Business and B-1 Business Districts

**Service Areas** for loading and unloading and for the disposal of refuse should be placed to the rear of the building, *wherever possible*, and out of the view from the public right-of-way. Such structures and facilities should be integrated into the overall design of the commercial or industrial development.

The following general guidelines shall apply:

- Service area for loading and unloading shall be oriented toward interior service lanes and not toward the public right-of-way;
- Public utility boxes (e.g. cable, telephone, and electric) should not be located on the front façade of the building and instead oriented to service lanes to the side or rear of the building. Utility boxes should not be visible from the public r-o-w;
- Trash containers must be enclosed on four (4) sides with block walls or wood fencing. Such containers shall be prohibited within the front yard of any development and shall be located within a designated service area to the rear of the commercial or industrial establishment. All refuse and waste storage containers shall be screened from adjoining properties and public rights-of-ways. Landscaping around the base of the walls that enclose the trash container shall also be required.
- Applicants must comply with the provisions of Section 130-4.7 (H) with respect to enclosing refuse containers.
- Where feasible [e.g. where soils conditions are good], all telephone, electric and cable to service the proposed developments shall be underground.
- Service areas shall be screened and landscaped.
- *Wall-mounted Air Conditioner Units shall not be placed anywhere on the storefront facade.*



**Illustration:** Appropriate means of enclosing a trash container.



**Above:** Appropriate means of enclosing a trash container.

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# Design Guidelines: Definitions

## Definitions:

Cornice, Upper: Any horizontal member, structural or non-structural, projecting outward from the exterior walls at the roofline.

Cornice, Lower: A horizontal member, structural or non-structural, projecting outward from the exterior walls between the first floor of the building and the upper floors.

Elevation: A mechanically accurate, “head-on” drawing of a face of a building or object, without any allowance for the effective of the laws of perspective. Any measurement on an elevation will be in fixed proportion, or scale, to the corresponding measurement of the real building.

Façade: Front or principal face of a building, any side of a building that faces a street or other open space.

Fenestration: The arrangement of windows and other exterior openings on a building.

Lintel: A horizontal member spanning a rectangular opening.

Projecting sign: Any sign attached to and placed perpendicular to or at an angle to the building façade.

Parapet: The extension of the main walls of a building above the roof level. Comment: Parapet walls often are used to shield mechanical equipment and vents.

Perspective Drawing: A drawing of a building façade that is not drawn to scale but provides a conceptual representation of the major elements of the façade in general proportions.

Sill: The bottom cross piece of a window or door frame.

Transom Window: A small window or series of panes above a door, or above a casement, double hung window, or display window.

Window Sign: Any sign painted, applied to, hung inside or intended to be viewed through window glass.

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# Design Guidelines: Other Guiding Principles

Many commercial buildings within the Town of Fallsburg have a run down and tired appearance that detracts from the Town's natural landscape. Over time, these commercial buildings can be made more attractive by applying the principles of these Design Guidelines.

The Architectural Review Board, will have an opportunity to require exterior building, lighting and sign changes to commercial buildings when a business submits an application for one of the following: 1) building permit for exterior alterations, 2) change in use of an existing commercial building, 3) site plan review, and 4) special permit review. Through this process, some degree of consistency in signage, lighting and building materials can be achieved within the Town of Fallsburg.

The following are prohibited:

- Air conditioners facing street;
- Use of Dusk-to-Dawn luminaries for sign lighting;
- Use of temporary vinyl or plastic banner signs for wall signs;
- Vinyl or plastic "Fixed Awning Signs;"
- Banners or pendants; and
- Block or plain masonry walls.



**Above:** Throughout the Town of Fallsburg, there is a general lack of consistency in building design as it relates to materials, colors, signage, exterior lighting, etc. Examples of *appropriate* and *inappropriate* design are provided on pages 23-28 provided herein. The intent of the ARB process is to strive for quality - quality design, quality materials, quality finishes and quality signage and lighting.



**Above:** Gooseneck lighting fixture for signage that is an appropriate design.



**Above:** Dusk-to-Dawn luminaries that are inappropriate for sign lighting.



**Above:** An example of a "Fixed quarter-round awning sign" that is inappropriate to building design.

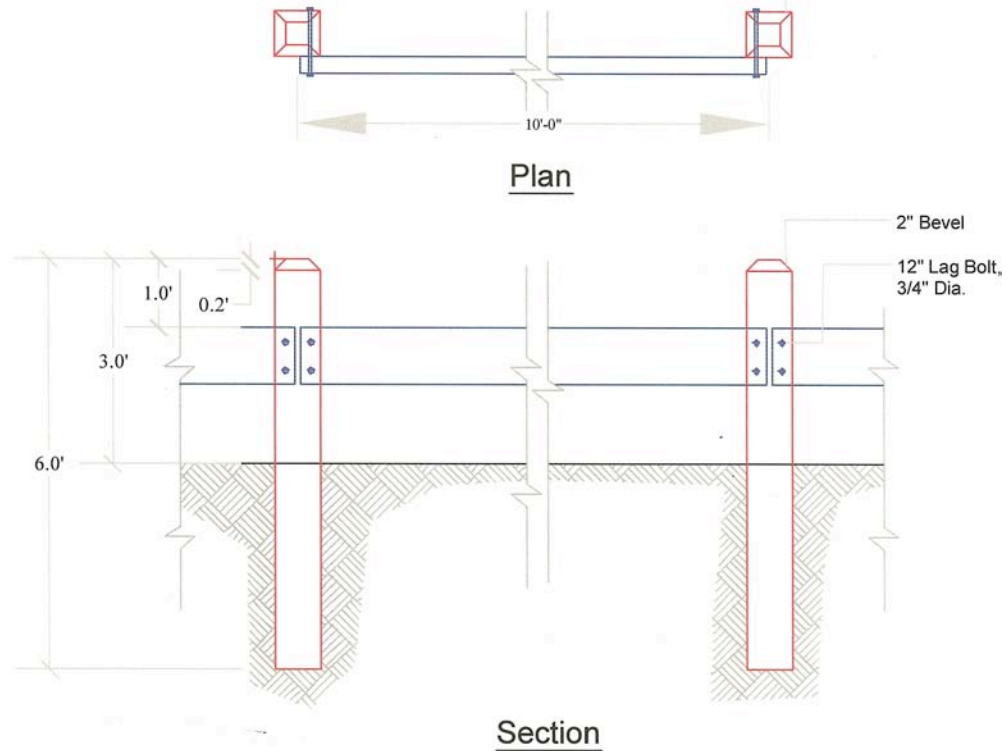
# Design Guidelines: Other Guiding Principles

An illustrative detail of wooden guide rail as described on Page 28.

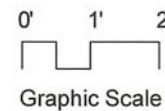
Whenever guide rails are needed along driveways and off-street parking areas it is recommended that decorative wood guide rails be used.

The illustration to the right is a typical specification that may be appropriate to use within off-street parking areas.

The applicant's engineer shall be responsible for ensuring that the guide rail provided satisfactorily addresses the safety requirements for such structures.



Guide Rail Details



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