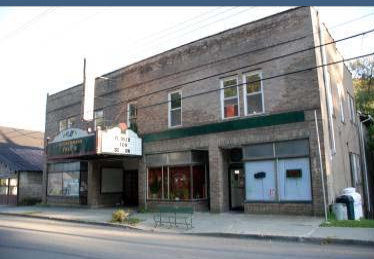


# Design Guidelines

Main Street Business District - Fleischmanns, New York



Village of Fleischmanns, New York

September 30, 2010



# Design Guidelines

Main Street Business District - Fleischmanns, New York

## ACKNOWLEDGEMENTS

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# Design Guidelines: Introduction

## Table of Contents

Introduction	1
Overview	2
Site Design for Mixed-Use	3
Building Mass & Scale	4
Form & Roofline	5
Building Entrances	6
Architectural Features	7
Materials & Colors	10
Lighting, Signs & Awnings	13
Application of Principles	17
Service Areas	19
Other Guiding Principles	20
Definitions	21

The Village of Fleischmanns' Central Business District (CBD) is situated along Main Street and is locally referred to as "Main Street." There are many mixed-use buildings along Main Street and most of these buildings are eligible for listing on the State or National Register of Historic Places. These historic mixed-use buildings contribute to the Village of Fleischmanns' unique sense of place. In a few instances, the renovation of these mixed-use buildings was done in a manner, which compromised the architectural integrity of the building. Fortunately, however, in most instances the original architectural elements of these mixed-use buildings is preserved, though in need of repair.

The Village Board wants to encourage reinvestment along Main Street, but understands that renovations must respect the original architecture of these historic mixed-use buildings. The *purpose* of these Design Guidelines is to provide a framework in which to guide building renovations, new infill development and public investments in a manner that protects these historic resources while strengthening the fabric of Main Street. These guidelines shall apply to all properties within the Village of Fleischmanns' MX-Mixed Use Zoning District. They are meant to supplement existing Site Plan Review and Sign Regulations by illustrating how building design can enhance the built environment.



Overview

Site Design

Mass & Scale

Form & Roofline

Building Entrances

Architectural Features

Materials & Colors

Signs & Lighting

Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Overview

**B**uildings within the *MX-Mixed Use Zoning District* shall incorporate the basic features of a pedestrian-oriented mixed-use business district. Retail storefronts shall be provided on the first floor of two or three-story buildings. Storefronts shall be oriented to Main Street. The following architectural features should be incorporated into all storefronts within the MX – Mixed Use Zoning District:

- Recessed entry for storefront (where an original architectural feature);
- Bulkhead;
- Display windows;
- Transom (where original to building architecture);
- Upper and Lower Cornices;
- Upper-story windows in proportion with building and in scale with traditional patterns on Main Street; and
- Quality construction and materials.

Renovation of building facades should preserve as much of the original building fabric as possible. For example, original windows, doors, cornices and building materials should be retained and repaired. If replaced, new windows should fit window openings and be designed to look like original windows. The use of vinyl or aluminum siding and/or renovations, which mask the architectural features of a building shall be prohibited.

New mixed-use buildings should generally align to the edge of the sidewalk in order to maintain a building line along Main Street. Where there is room to provide off-street parking, it should be provided to the side or rear of buildings. Rear storefront entrances are encouraged, where feasible. Additional criteria for the placement of buildings are provided under Site Design.

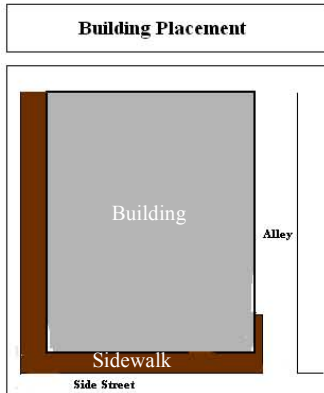


The Tinderbox Building:

This building is located at 1109 Main Street. The owners retained many of the original elements of the storefront including bulkhead, large display windows and recessed entry. Most of the front facade also remains intact - however, the second-floor porch was enclosed. Renovations to the front facade might include the removal of the porch enclosure and restoration of the second floor porch to re-expose the columns and restore the baluster & balustrade.

Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Site Design for Mixed Use Buildings

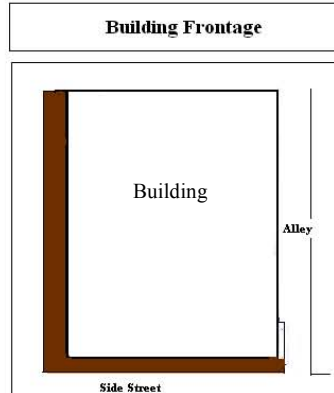


### Setbacks:

Buildings should be located within the grey shaded area as shown in the above diagram. Building footprints for mixed-use buildings should be built to the sidewalk or set back no more than five (5) feet along Main Street.

A zero setback on the front and side yards is allowed; however, a 10-foot rear yard setback is required. A setback to provide sufficient sight distance will be required for buildings located on a corner lot.

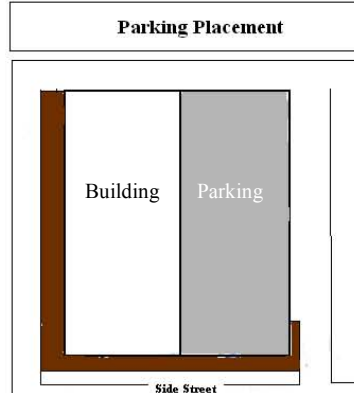
Front Setback: 0' Min.  
Side Yard: 0' Min. to 12' Max.  
Corner Side: 0' Min. to 12' Max.  
Rear Setback: 10' Min.



### Encroachments Allowed:

Balconies, colonnades, and porches on the second floor may encroach over the sidewalk a maximum of five (5) feet. Projecting signs may encroach over the sidewalk provided a eight (8) foot high clear walkway is maintained in all instances and public access is unobstructed.

The design standards for the placement of projecting signs is provided in Section 100-42 (C) (4) of the Village Zoning Law. Outdoor cafes may be permitted as an accessory use on Main Street provided sufficient aisle width is maintained for ADA compliance.

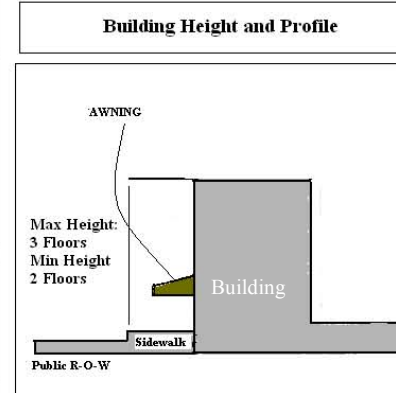


### Parking Requirements:

Within the MX-Mixed Use District, off-street parking should only be permitted in the side of rear yards.

Off-street parking spaces shall not be required for existing buildings or new infill buildings within the MX-Mixed Use District. However, if a municipal parking district is created, a special district tax to pay for municipal parking lots will be required.

Alleys: Where feasible, access to off-street loading should be provided from designated alleys that are at least 15 feet in width.



### Maximum Height & Profile:

Within the MX-Mixed Use District, the maximum building height shall be forty (40) feet.

Minimum: 2 stories  
Maximum: 3 stories

Rooflines: Infill buildings shall incorporate horizontal or sloping rooflines. Parapet walls rising above the roofline of flat roofs should be used to conceal rooftop HVAC equipment.

Infill Buildings: Shall respect adjacent buildings in terms of height, materials and building placement.

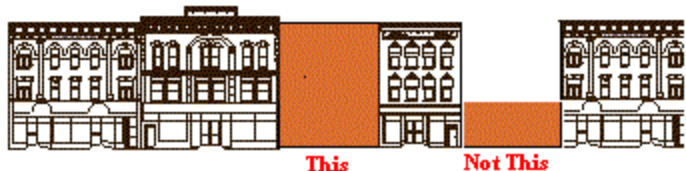
Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Building Mass & Scale

**N**ew infill buildings should respect the mass & scale of the traditional building stock within the Main Street Business District. The vertical and horizontal delineation of new structures should match that of traditional structures so they fit within the context of the existing building stock. In this respect, the mass & scale of new buildings is as important to fitting in as is the placement of new buildings on a site.

The following design principles should be followed when designing new infill buildings:

1. **Building height:** The height of new buildings should not appear excessively higher or lower than surrounding properties [see illustration upper right corner of page].
2. **Floor-to-floor heights:** It is critical that the floor heights of new infill buildings are in keeping with the floor heights of adjacent structures. Furthermore, upper floor windows must be divided into individual window units that are similar in scale to adjacent structures.
3. **Break up the mass of the building elevation:** For large infill buildings, the façade shall be divided into modules to give the appearance of several buildings. This is needed to maintain the traditional building pattern of mixed-use hamlet centers. This can be achieved through the use of colors and change in materials to provide a clear distinction between the modules. Recesses may also be used. Building facades should also provide a clear distinction between the first floor and the upper floors of the structure through the use of awnings, a lower cornice and change in materials.



New infill buildings shall be designed in a manner that ensures that they are compatible in scale to the existing building stock within the MX-Mixed Use Zoning District. Such buildings shall also provide for a visual transition from commercial buildings and nearby single-family homes when abutting surrounding residential districts.

**Infill building:** The infill building in the center of the photo to the right complements the mass and scale of adjacent buildings. This example is from the City of Saratoga, New York. Note how the new building incorporates similar building materials, decorative brick patterns, is built to the sidewalk, etc.



As new buildings are proposed in the MX-Mixed Use District along Main Street, it is important that the building placement, materials, scale and height complement surrounding buildings. Doing so will strengthen the fabric of Fleischmanns' Main Street Business District.

Overview
Site Design
<b>Mass &amp; Scale</b>
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Form & Roofline

## Main Street Business District

The predominant mixed-use building stock along Main Street consists of structures with flat roofs, hipped roofs or gable roofs. In some instances pitched roofs are concealed from the street view by a *parapet* wall. Along Main Street, rooflines vary allowing for flexibility in new building design. Still, general roof design standards are needed so that new structures complement adjacent historic buildings. Buildings with flat roofs should incorporate a decorative upper cornice and/or parapet. Buildings with gable and hipped roofs should overhang the front building facade and include decorative eaves or brackets to add visual interest to the facade (photo below right illustrates this point).

- Roof mounted mechanicals shall be concealed with parapet walls that incorporate a cornice, and
- Cornices shall be required on new buildings.



**Above:** This mixed-use building at 1130 Main Street has a hipped roof, decorative lower cornice above the storefront, recessed entry and large display windows. The renovation of this storefront should be limited to needed repairs, painting and replacement of the storefront glass.



**Above** (left to right): Traditional mixed use building on Main Street with typical building heights, setbacks, and roofline. Along Fleischmanns' Main Street Business gable roofs and rooflines that slope to the rear of the building are common. Some buildings also have flat roofs.



**Above:** Restaurant at 1103 Main Street with a flat roof. Original architectural features include a decorative upper cornice, front porches with original baluster & balustrade and large display windows on storefront. The renovation should be limited to repainting and repair of any exterior elements in disrepair.

Overview

Site Design

Mass & Scale

Form & Roofline

Building Entrances

Architectural Features

Materials & Colors

Signs & Lighting

Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Building Entrances

The primary entrance to buildings must be clearly defined and oriented toward the street. For mixed-use buildings, separate entrances should be provided for retail/commercial and residential uses. All entrances should generally be oriented toward the street. However, residential entrances may be oriented to an alley or off-street parking area in the rear yard. The following general standards shall apply:

- Primary entrances should be accentuated using architectural features such as:
  - Recessed entries,
  - Display windows and signage, or
  - Awnings and lighting.
- Rear building entrances for retail is encouraged in the MX-Mixed Use Zoning District.



**Above:** The Handcrafters. The recessed entrance to the storefront is well defined and the owners have used awnings to help accent the entrance.



**Above:** The Glass Menagerie in Corning, NY incorporates the classic elements of a traditional storefront on Main Street. Note the well-defined bulkhead, display window and transom as well as the recessed entry.



**Above:** Market Street – Corning, New York. Primary entrance is oriented to the street. The entrance to second floor is located in front center of building façade.

Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces



# Design Guidelines for MX-Mixed Use District: Architectural Features

**A**rchitectural features of buildings make the streetscape more interesting and visually appealing. Existing buildings within the Main Street Business District incorporate such features. As infill buildings are developed along Main Street, attention must be paid to architectural details in order to conserve the integrity and cohesiveness of the business district. The following techniques are encouraged:

- Buildings with recessed entries,
- Storefronts to incorporate canvass awnings,
- Use brick patterns to provide visual interest, and
- Use a lower cornice to distinguish the first floor from the upper floors of the building.
- Infill buildings: Look to shapes, patterns and scale within the existing building stock and incorporate them into new infill building design.

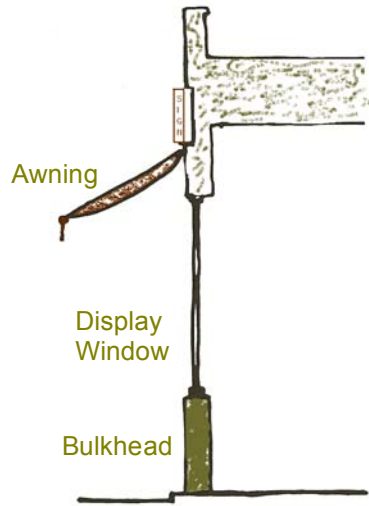


**Above:** New infill buildings in Rhinebeck and Saratoga, New York.

**Above:** New infill building in Saratoga, New York.

Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Architectural Features



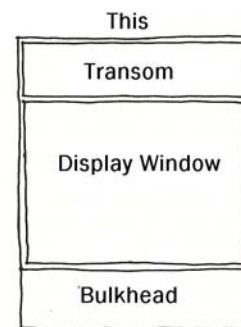
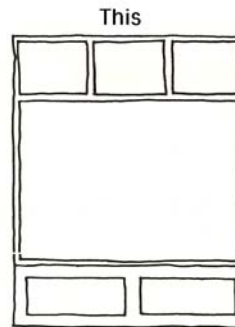
**Above:** Quarter-round awnings are prohibited.



**Above:** Fixed canvass awnings are permitted.

**Above:** Retractable awnings are strongly encouraged.

The graphic illustrations included here are provided to give a visual interpretation of some of the concepts that are described in the preceding sections. The illustrations provided on this page demonstrate the appropriate and inappropriate means of designing a storefront within the MX-Mixed Use Zoning District.



Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Architectural Features



**D**ecorative cornices are common elements of mixed-use buildings within Fleischmanns' Main Street Business District. These architectural features should be preserved on all existing buildings. The use of vinyl or aluminum siding that conceals these features is prohibited. Infill buildings should incorporate decorative cornices or parapet wall. The photos on this page provide illustrate examples of decorative cornices that presently exist along Fleischmanns' Main Street.



Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Materials & Colors

**B**uilding materials and colors are part of the design vocabulary that defines the character of Main Street. An underlying design theme for Fleischmanns' Main Street must be "Quality"....quality design, quality materials, and quality finishes. Within the MX-Mixed Use District traditional and appropriate exterior finishes include:

- Common red brick siding and stucco.
- Wood lap siding, hardiplank or brick.
- Wood frame windows/doors [see material list on page 12].

The following exterior finishes are prohibited:

- Vinyl siding or aluminum siding.
- Polished stone, ceramic tile, or mirrored glass.
- Board & batten or T-1-11 siding.

Building colors should complement the overall character of Main Street. *Historic color palettes* - such as those provided by Sherwin Williams or Benjamin Moore - should be used in the selection of building colors.



Overview

Site Design

Mass & Scale

Form & Roofline

Building Entrances

Architectural Features

Materials & Colors

Signs & Lighting

Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Materials & Colors

Inappropriate building materials or colors can have an adverse impact on the integrity of individual buildings and the Main Street Business District as a whole. The examples provided on this page illustrate *inappropriate* design. Proposed renovations to existing building facades that incorporate any of the design elements shown on this page shall be prohibited within the MX-Mixed Use Zoning District. The following exterior finishes are prohibited:

- Mansard-like projections (see bottom right photo – store bottom center),
- Faux stone siding on lower level of brick building,
- Vinyl or aluminum siding,
- Signage that masks architectural elements of a building, or
- Polished stone, ceramic tile, or mirrored glass.

Building materials should complement the architecture of the individual building and enhance the character of the Main Street Business District.



Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Materials & Colors

## Building Materials & Colors (Historic Color Palette)

<u>Building Element:</u>	<u>Recommended:</u>	<u>Not Recommended:</u>
<u>Façade:</u>	Common red brick Wood clapboard Hardie Plank Lap Siding Stucco (if true to bldg. architecture)	T-1-11 or board & batten Vinyl or aluminum siding Imitation brick siding Faux stone siding Block or plain masonry units Faux log cabin siding
<u>Trim:</u> Wood	<i>Wood</i>  - Finished grade - Painted or stained	Rough cut or unfinished wood  - Faux log cabin - Plywood or T-1-11
<u>Windows:</u>	<i>Wood frame</i> - Painted - Stained <i>Lintels &amp; Sills</i> - Brick or stone <i>Glass</i> - Clear glass for display windows <i>Transom</i> - Clear, etched, frosted, or stained glass <i>Upper Floors</i> - Clear glass	Aluminum frame Vinyl casement  - Mirrored or tinted glass  - Opaque glass
<u>Roof:</u>	<i>Asphalt shingles</i> <i>Tin or colored aluminum</i> <i>Parapet caps</i> - Tin, brick or stone	Corrugated Fiberglass
<u>Awnings:</u>	Canvas retractable Canvas fixed - 3-color maximum	Vinyl or quarter-round awnings

Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
<b>Materials &amp; Colors</b>
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Lighting, Signs & Awnings

Signage within the MX-Mixed Use Zoning District shall comply with [Article X - Signs of Fleischmanns' Zoning Law](#). It is also important that signage respect the architecture of the building and not mask architectural features such as the lower cornice or second story windows. It is important that new infill buildings be designed in a manner that anticipates the incorporation of signage and lighting consistent with the Zoning Law.

- New infill buildings should be designed to incorporate signage into the building facade,
- Down-lit gooseneck lamps are recommended to illuminate signage [see page 14], and
- Projecting signs are encouraged along Main Street since they make it easier for pedestrians to find stores (see photos below).



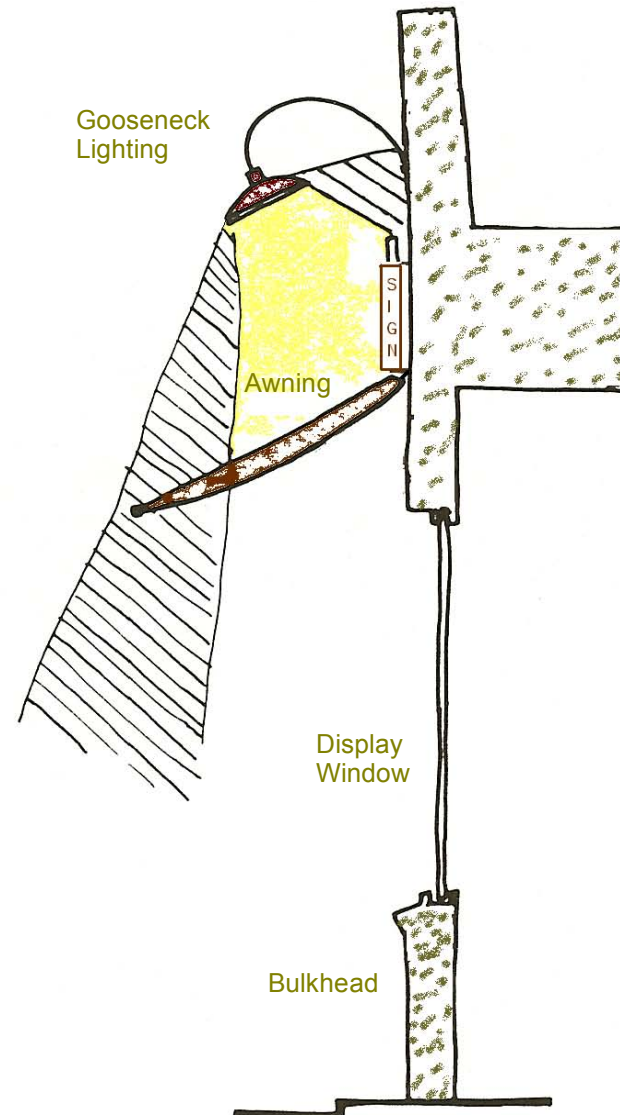
Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Lighting, Signs & Awnings
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Lighting, Signs & Awnings

Lighting of the building façade is important for two reasons: 1) It is necessary to advertise the business after daylight hours and 2) lighting both during and after business hours is a deterrent to crime. Lighting can also be used to illuminate attractive architectural features of the storefront as well as the signage. Interior lighting of the window display is necessary to highlight items for sale and business owners are encouraged to have window displays lit after business hours. Appropriately designed exterior lighting not only accentuates building design, but it also enhances the ambiance of the Main Street Business District as a shopping and dining area.

The illustration to the right shows the appropriate placement of exterior lighting. The following standards also apply:

- Infill building design must incorporate the appropriate placement of lighting on the building,
- Down lit gooseneck lamps are recommended to illuminate signage,
- Lighting should not provide for excessive light or glare, and
- Energy conservation and LED lighting is encouraged.



Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Lighting, Signs & Awnings
Outdoor Spaces



# Design Guidelines for MX-Mixed Use District: Lighting, Signs & Awnings

**S**ignage is an important part of every business district. When placed to fit within the architectural design of the building façade, signage can add to the visual interest of the building while letting customers know the nature and location of the business. However, when signage is not properly placed on the building, or is excessively large, it results in unsightly visual clutter.

In the illustration to the right, the large bulky sign above the lower cornice conceals part of the second floor window and masks part of the cornice. Such signage shall not be permitted in the MX-Mixed Use Zoning District. The proper placement of the signage within the sign panel above the display window is shown in the lower half of the illustration.

**A**wnings serve a useful purpose in that they provide protection from inclement weather. Sometimes awnings include the name of the store or street address. Awnings should not hawk or peddle goods.

Generally, *awning signs* should be incorporated into awnings that are retractable and made of heavy canvas or comparable material. Fonts and logos used on awning signs should match other styles used within the sign program on the building. Awnings should be installed in a manner that does not hide or mask the traditional architectural elements of the building façade. The illustration to the right shows the proper placement of a retractable awning. Aluminum, plastic, or vinyl awnings or canopies shall not be used within the Main Street Business District.

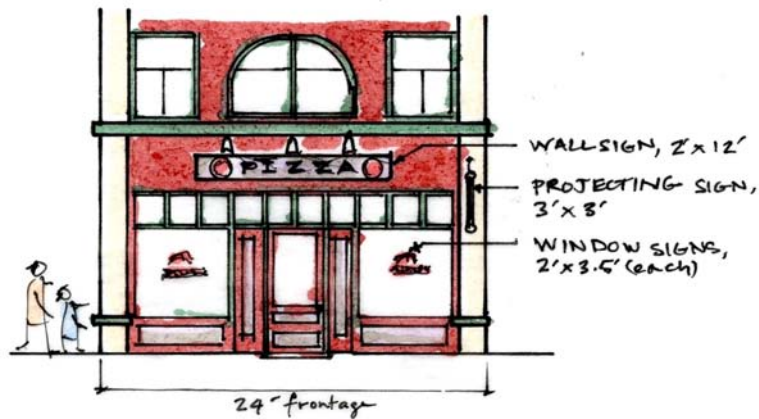


Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Lighting, Signs & Awnings
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Lighting, Signs & Awnings

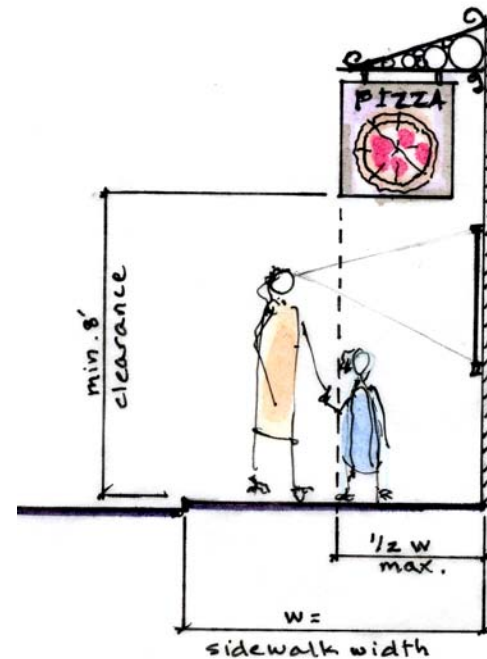
**Fleischmanns'** Main Street Business District contains a densely concentrated mix of businesses and public buildings. Buildings typically sit close to the sidewalk, on lots with frontages between 20' to approximately 75'. The MX-Mixed Use Zoning Districts include restaurants, shops, banks, municipal buildings and personal services. Wall signs, window signs, awning signs and projecting signs are permitted in this district under the provisions of the Village's Sign Regulations (i.e. Article X of the Zoning Law).

The goal for the Main Street Business District is to create a lively and attractive pedestrian environment. Identification signs that are well-designed can encourage potential shoppers to get out of their cars and take a look at what the business district has to offer. As they walk, such signage helps them to locate businesses.



**Above:** In the example above, the cumulative sign area permitted equals two square feet for each lineal foot of building frontage. Thus, a building that is 24' wide would be allowed 48 square feet of sign area. This allotment can be split up among different types of signs. In the example above, the 2' x 12' wall sign, 3' x 3' projecting sign and two 2' x 3.5' window signs total 47 square feet.

**Below:** Projecting signs should incorporate text and images or logos to communicate a message quickly.



**P**rojecting signs must clear the sidewalk by at least eight (8) feet and may project no more than four (4) feet from the building or one-half the width of the sidewalk, whichever is less.

Projecting signs must be pinned away from the wall at least six (6) inches and must project from the wall at an angle of 90 degrees.

Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Outdoor Spaces

# Design Guidelines for MX-Mixed Use District: Application of Principles

**Building at 1130 Main Street:** *The following example is provided to illustrate key façade renovation principles. An architect or builder should be used to ensure the structural integrity of all renovations.*

**Existing Façade:** While the upper two floors of the front façade of this building have been covered with asphalt shingle siding, many of the original architectural features remain in tact. The storefront has retained the recessed entry and original doors. However, the bulkhead and original storefront siding are masked behind vinyl siding. A faux divided window has replaced what was likely a large display window on the left side of the store entrance - the right display window was replaced with plywood.

**Suggested Renovations:** Suggested renovations are visually illustrated in the sketch that is provided below.

The renovation of this façade should include the restoration of the bulkhead and large display windows (without the faux dividers). The vinyl siding on the first-floor storefront should be removed to reveal original building materials on the storefront façade and bulkhead. The underlying siding will likely need to be scraped and painted to restore.

In the illustration, a projecting sign is placed perpendicular to the building wall and window signs placed on restored large display windows are used to promote the business. The projecting sign is placed at a height that is clear to oncoming pedestrians and vehicles making it easier to find the place of business. These renovations not only improve the aesthetics of the building but also provide the opportunity to create visually appealing window displays that will enhance the shopping experience on Main Street.



Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Service Areas
Application of Principles

# Design Guidelines for MX-Mixed Use District: Application of Principles

**Family Eatery Building (Main Street):** *The following example is provided to illustrate key façade renovation principles. An architect or builder should be used to ensure the structural integrity of all renovations.*

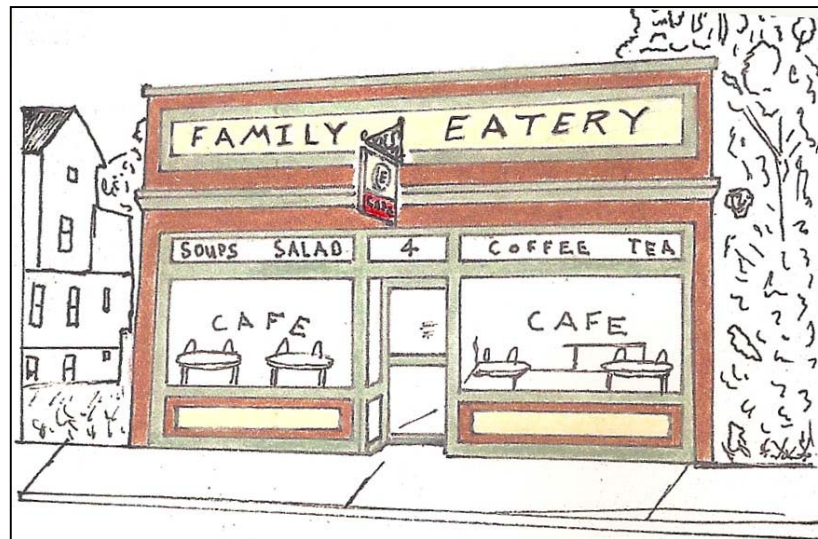
**Suggested Renovations:**

**Existing Façade:** Over time, renovations to façade have compromised the original architecture of this building. The renovation of this building replaced the large display windows with smaller storefront windows and original siding with Texture-1-11 siding that masks the transom windows and bulkhead of the front façade.

**Recommended Renovations:**

The renovation of this façade should include the restoration of the bulkhead, large display windows and transom windows that were original to the architecture of this building. The lower and upper cornices should also be restored and the *mansard overhang* removed. In the sketch of the proposed renovation, the wall sign is placed within the sign panel. The wall sign could also be lit with gooseneck lamps. A true projecting sign is placed perpendicular to the building wall at a height that provides eight (8) feet of clearance from the bottom of the sign to the sidewalk. At this height, the projecting sign is clear to oncoming pedestrians - making it easier to find the place of business.

There is also a hierarchy of message: wall signs - simple, relatively large text describes name and nature of business (e.g. bakery or cafe); along with window signs - providing more specific and complex information targeted at potential customers who approach the store. Secondary information about phone numbers, hours of operation, delivery should be placed on window signs, not wall or projecting signs.



Overview
Site Design
Mass & Scale
Form & Roofline
Building Entrances
Architectural Features
Materials & Colors
Signs & Lighting
Service Areas
Application of Principles

# Design Guidelines: Service Areas

## MX-Mixed Use Business Districts

**Service Areas** for loading and unloading and for the disposal of refuse should be placed to the rear of the building, wherever possible, and out of the view from the public right-of-way. Such structures and facilities should be integrated into the overall design of the commercial or industrial development.

The following general guidelines shall apply:

- Service area for loading and unloading shall be oriented toward interior service lanes and not toward the public right-of-way;
- Public utility boxes (e.g. cable, telephone, and electric) should *not* be located on the front façade of the building and instead oriented to service lanes to the side or rear of the building. Utility boxes should not be visible from the public r-o-w;
- Trash containers must be enclosed on four (4) sides with block walls or wood fencing. Such containers shall be prohibited within the front yard of any development and shall be located within a designated service area to the rear of the commercial or industrial establishment.
- All refuse and waste storage containers shall be screened from adjoining properties and public rights-of-ways.
- Where feasible [e.g. where soils conditions are good], all telephone, electric and cable to service the proposed developments shall be underground.
- Service areas should be screened and landscaped.
- Wall-mounted air conditioner units should generally not be placed anywhere on the storefront facade.
- Service area shall be kept neat and free of refuse.



**Above:** Illustration of appropriate means of enclosing a trash container.



**Above:** Appropriate means of enclosing a trash container.

Overview

Site Design

Mass & Scale

Form & Roofline

Building Entrances

Architectural Features

Materials & Colors

Signs & Lighting

Service Areas

Application of Principles

## Other Guiding Principles for Commercial Properties

**S**ome commercial buildings within the Village of Fleischmanns have a run down and tired appearance that detracts from the community's appearance. Over time, these commercial buildings can be made more attractive by applying basic design principles related to building materials, colors and signage.

The Planning Board, will have an opportunity to encourage exterior building renovations when a business submits an application for one of the following: 1) change in use of an existing commercial building, 2) site plan review, and 3) special permit review.

When such changes are proposed, the guiding principals contained herein should be *encouraged*. For example, *paint colors should be chosen from an historic color palette*. Through this process, some degree of consistency in signage, lighting and building materials can be achieved with the Commercial and Industrial Zoning Districts.

The following should be prohibited:

- Air conditioners facing street;
- Use of dusk-to-dawn luminaries for sign lighting;
- Vinyl "Fixed Awning Signs;"
- Banners or pendants; and
- Block or plain masonry walls.



**Above:** Photos of existing commercial properties in the Village, which illustrate the need for basic design guidelines. While not the focus of these design guidelines, consideration should be given to encouraging higher standards for commercial, multi-family residential and industrial buildings within the Commercial and Industrial Zoning Districts. At a minimum, more attention needs to be paid to maintenance, choice of colors, building materials and signage. The intent of design review is to strive for quality - quality design, quality materials, quality finishes and quality signage.



**Above:** Gooseneck lighting fixture for signage that is an appropriate design.



**Above:** Dusk-to-Dawn luminaries that are inappropriate for sign lighting.



**Above:** An example of a "Fixed quarter-round awning sign" that is inappropriate to building design.

# Design Guidelines: Definitions

## Definitions:

**Cornice, Upper:** Any horizontal member, structural or non-structural, projecting outward from the exterior walls at the roofline.

**Cornice, Lower:** A horizontal member, structural or non-structural, projecting outward from the exterior walls between the first floor of the building and the upper floors.

**Elevation:** A mechanically accurate, “head-on” drawing of a face of a building or object, without any allowance for the effective of the laws of perspective. Any measurement on an elevation will be in fixed proportion, or scale, to the corresponding measurement of the real building.

**Façade:** Front or principal face of a building, any side of a building that faces a street or other open space.

**Fenestration:** The arrangement of windows and other exterior openings on a building.

**Lintel:** A horizontal member spanning a rectangular opening.

**Projecting sign:** Any sign attached to and placed perpendicular to or at an angle to the building façade.

**Parapet:** The extension of the main walls of a building above the roof level. Comment: Parapet walls often are used to shield mechanical equipment and vents.

**Perspective Drawing:** A drawing of a building façade that is not drawn to scale but provides a conceptual representation of the major elements of the façade in general proportions.

**Sill:** The bottom cross piece of a window or door frame.

**Transom Window:** A small window or series of panes above a door, or above a casement, double hung window, or display window.

**Window Sign:** Any sign painted, applied to, hung inside or intended to be viewed through window glass.

Overview

Site Design

Mass & Scale

Form & Roofline

Building  
Entrances

Architectural  
Features

Materials &  
Colors

Lighting

Outdoor Spaces